



District Department of Transportation

Public Space Management Branch
1100 4th Street SW / 2nd Floor
Washington, DC 20024

Tel. (202)442-4670 Fax (202)442-4867 Inspections: (202)671-7050



July 1, 2014

ANC
ANC

DDOT Tracking Number 94885

Dear ANC3:

This is to notify you of an application to occupy public space for the purpose of Paving: ADA Curb Ramp, Paving: Curb & Gutter(s), Paving: Driveway(s) Close Existing, Paving: Driveway(s) Repair or Replace, Paving: Leadwalk Only, Paving: Mill and Overlay, Paving: Sidewalk(s), Fixture: Repair Retaining Wall (No change), Fixture: Retaining Wall to 42", Fixture: Street Fixture or Furniture (Exception), Landscaping: New Tree Space(s) at the premises at 2660 CONNECTICUT AVENUE NW, WASHINGTON, DC 20008.

Enclosed are plans showing the proposed work. Please review the application and plan and return this letter to the Public Space Management Branch (PSMB) advising it whether or not ANC3 has any objections to the application. The response must be received at the PSMB no later than thirty (30) days from the postmarked date of this letter, excluding Saturdays, Sundays, and legal holidays. If a response is not received within that period it is assumed that ANC3 has no objections to the application. If ANC3 has objections, they must be provided to the PSMB in writing and with supporting details. Please provide ANC3's response in the space below and return this letter with any correspondence pertaining to this application to:

District Department of Transportation
Public Space Management Branch
1100 4th Street S.W. / 2nd Floor,
Washington DC 20024,

Please Note: For 3's response to carry "Great Weight", this request must be voted on by the commission as a whole at a properly noticed meeting that is open to the public.

If you have any questions, please feel free to contact the assigned technician at catrina.felder@dc.gov or call (202) 442-4670 with questions. (FAX: 202-535-2221)

Attachment(s)

PLEASE COMPLETE THIS & RETURN TO THE PUBLIC SPACE MANAGEMENT BRANCH
Date of ANC Vote: _____ (please attach any resolution, if available)

____ ANC3 has no objection to this application.
____ ANC3 has the following objections to this application:

(Please attach additional pages if necessary)

Name: _____ Title: _____

Signature: _____ Date: _____



District of Columbia
Transportation Online Permitting System
 Internal Site for Permit Office and Reviewing Agencies



Home Plan Review Intake Tree Permit Assign Tech Review and Inspection Manage Reviewer Company Registration
 Report Others Recent Places Sign-out

Welcome **Catrina Felder**

You are logged in as **PSRA Manager, Public Space Regulations Administration**

Permit Details

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This is NOT a PERMIT

Tracking Number:	94885	Permit Number:	
Intake Date:	04/29/2014	Intake Technician:	
Assigned Date:	06/25/2014	Assigned Manager:	
Assigned Technician:	Catrina Felder	Assigned Inspector:	Gary Blunt
Permit Type:		Renewal:	New
Archived?:	N	Legacy?:	N
Status:	Assigned	Source Permit:	
Work Location:	2660 CONNECTICUT AVENUE NW, WASHINGTON,	Issue Date:	
Locked?	DC 20008 View Map		
	N		
Effective Date:	06/11/2014	Expiration Date:	06/10/2015
Type Description:	Paving: ADA Curb Ramp, Paving: Curb & Gutter(s), Paving: Driveway(s) Close Existing, Paving: Driveway(s) Repair or Replace, Paving: Leadwalk Only, Paving: Mill and Overlay, Paving: Sidewalk(s), Fixture: Repair Retaining Wall (No change), Fixture: Retaining Wall to 42", Fixture: Street Fixture or Furniture (Exception), Landscaping: New Tree Space(s)		
Work Detail:	Repair existing curb cut at 24th St and at Woodley Road with new curb and paving. Remove existing curb cut on Connecticut Ave and convert driveway to pedestrian only. Extend tree space. Replace failing retaining wall along site frontage, replace damaged sidewalk panels. New brick lead walk off Woodley Road. Provide accessible WMATA bus stop at 24th and Hotel Service Drive. Two new bike racks at WMATA Metro Elevator. Repair and restore portion on WMATA Metro Elevator retaining wall. One new ADA curb ramp on Connecticut Ave to current DDOT standards..		
Conditions:	<ul style="list-style-type: none"> *All street trees located within the work zone shall have a 4' high orange snow fence placed around the tree space (4' x 10'). The fence shall be install prior to work starting and removed after work has been completed. *All work must comply with all District regulations and statutes. Violation may result in revocation of this permit. *Extended restoration may be required. Level of restoration to be determined by DDOT. A DDOT Public Space Construction Inspector (202-645-7050) must authorize any restoration before work begins. *For return of deposits please call the PSI office at (202) 645-7050 to schedule an inspection. *Must call PSI before start of work for delivery of ORIGINAL PERMIT @ 202 645-7050. *Must follow approved site plan without deviation. *Must notify PSI prior to the commencement of work in public space and again prior to final restoration work. Please call 202.645.7050, Monday-Friday, 7:00am-3.30pm. *No blocking of alley with vehicles or equipment. *No change to size, layout, design or materials from the existing feature is allowed. *No crossing of sidewalk with trucks. *No work in public space permitted during official DC government holidays. *Permit holder is responsible for all damage to public space as a result of work done under this permit. *Permit holder responsible for obtaining any additional permits required by statute or regulation including DOH, DDOE and DCRA permits. *Person who posts an unauthorized sign or removes an authorized sign is subject to a fine of \$100 per day. *Renewals require all prior public space permits be on premise. *Speeding violation fines are doubled in construction work zones. *This construction permit requires a separate valid permit for temporary occupancy to be on site during the time work is being performed. *This permit does not authorize the posting of No Parking signs. A separate public space occupancy permit is required. *This permit is not valid until the later of the Effective Date and the Issuance Date. *This permit is revocable at any time at the discretion of FEMS, MPD and/or DDOT *This permit must be on site at all times and visible from public space. *Work hours in public space are listed on the approved Traffic Control Plan. Any work in public space before 7am or after 7pm Mon. thru Sat. or all day Sun. requires an additional permit from DCRA. 		
Business Name:	WARDMAN TOWER	Business Owner Name:	NASH WARDMAN LLC
Applicant Name:	PHILLIP PITTINGER-DUNHAM 26 other recent applications by this applicant	Permit Tech:	
Permit Fee (include Technology Fee):	1716.00	Permit Fees Payment Date:	
Last Updated By:	Catrina Felder	Last Updated Date:	06/25/2014
Owner Name:	NASH Wardman Tower Residential LLC c/o The JBG Companies	Owner Address:	4445 Willard Ave Ste 400, Chevy Chase, MD 20815

Work Zone Deposit Name: NASH Wardman Tower LLC c/o The JBG Companies
Work Zone Deposit Journal Number: S76996
Work Zone Deposit Payment/Waived Date:
Street Light Deposit Name:
Street Light Deposit Journal Number:
Street Light Deposit Payment/Waived Date:
Wet Utility Deposit Name:
Wet Utility Deposit Journal Number:
Wet Utility Deposit Payment/Waived Date:
PSRA Notes: N/A
Reviewing Agencies:

Work Zone Deposit Address: 4445 Willard Ave Ste 400, Chevy Chase, DC 20815
Work Zone Deposit Amount: \$52,344.00
Work Zone Deposit Status: No deposit
Street Light Deposit Address:
Street Light Deposit Amount: \$0.00
Street Light Deposit Status: N/A
Wet Utility Deposit Address:
Wet Utility Deposit Amount: \$0.00
Wet Utility Deposit Status: N/A

Agency	Sent Date	Return Date	Reviewer Name	Status	Util #	Notes
IPMA	06/06/2014	05/09/2014	Edwin Edokwe	APPROVED WITH CONDITION		<p>May 9 2014 5:38PM eedokwe wrote for Applicant - The return curb radius is 6'-0" for driveways, and 10'-0" for ally and minimu of 15'-0" for roadway. The retaining wall and stairs and step work be done in accordance with DDOT Specification and Standard drawing.</p>
PSI	06/06/2014	05/09/2014	Gary Blunt	APPROVED		<p>May 9 2014 11:49AM gblunt wrote for Internal User - Must contact PSI at (202) 645-7050 for authorization before any restoration work begins. Follow all DC Standards and Specifications. Temporary repairs of excavated work must be properly maintained at all times. A separate occupancy permit must be obtained and on site whenever work is being performed. All steel plates must be permitted, pinned on all four corners and properly feathered with asphalt.</p> <p>May 9 2014 11:50AM gblunt wrote for Internal User - Must contact PSI at (202) 645-7050 for authorization before any restoration work begins. Follow all DC Standards and Specifications. Temporary repairs of excavated work must be properly maintained at all times. A separate occupancy permit must be obtained and on site whenever work is being performed. All steel plates must be permitted, pinned on all four corners and properly feathered with asphalt.</p>
DDOE/SE	06/06/2014	05/16/2014	Nykia Barnes	APPROVED		
VERIZON	06/06/2014	05/09/2014	Mary Polk	APPROVED	30623	
DC Water	06/06/2014		David Paige	PENDING	30624	
IPMA/Stormwater	06/06/2014	05/21/2014	Carmen Franks	PENDING		<p>May 21 2014 6:17PM cfranks wrote for Applicant - Show how the stormwater from public space is being retained to the MEP (see comments in TOPS from PDRM held 3/25). Consider expanding the tree space on Connecticut Ave to meet the stormwater requirements.</p>
PEPCO	06/06/2014		Isidore Takougang	PENDING	30625	
WASH GAS	06/06/2014	05/02/2014	Bobby Banks	APPROVED WITH CONDITION	30626	<p>May 2 2014 12:43PM bbanks wrote for Applicant - There is 12" Line Drip Box on our 12" Wrapped Steel gas main located just south of Woodley Rd , west of the west curb on Connecticut Ave that can not be covered over. We also have High to Low pressure regulator station that needs to be properly located and mark before demolition. Both of the concerns are in the your of area disturbance.</p>
Policy, Planning and Sustainability Administration	06/06/2014	05/12/2014	Evelyn Israel	PENDING		<p>May 12 2014 1:50PM eisrael wrote for Internal User - Please include Spring Worth in PTSA and Aaron Overman from WMATA in this review. They attended the PDRM for this site, which involves work on a WMATA bus stop.</p> <p>May 12 2014 2:13PM eisrael wrote for Applicant - Please provide width of curb cut on Woodley Road. Also provide the height of the walls in public space.</p> <p>As indicated at the PDRM, and with Applicant's PDRM notes, please provide signage plan, specifically for the one-way traffic on Woodley Rd. and car-turning movements to show that wrong way exits from the one-way driveway are difficult to achieve.</p>

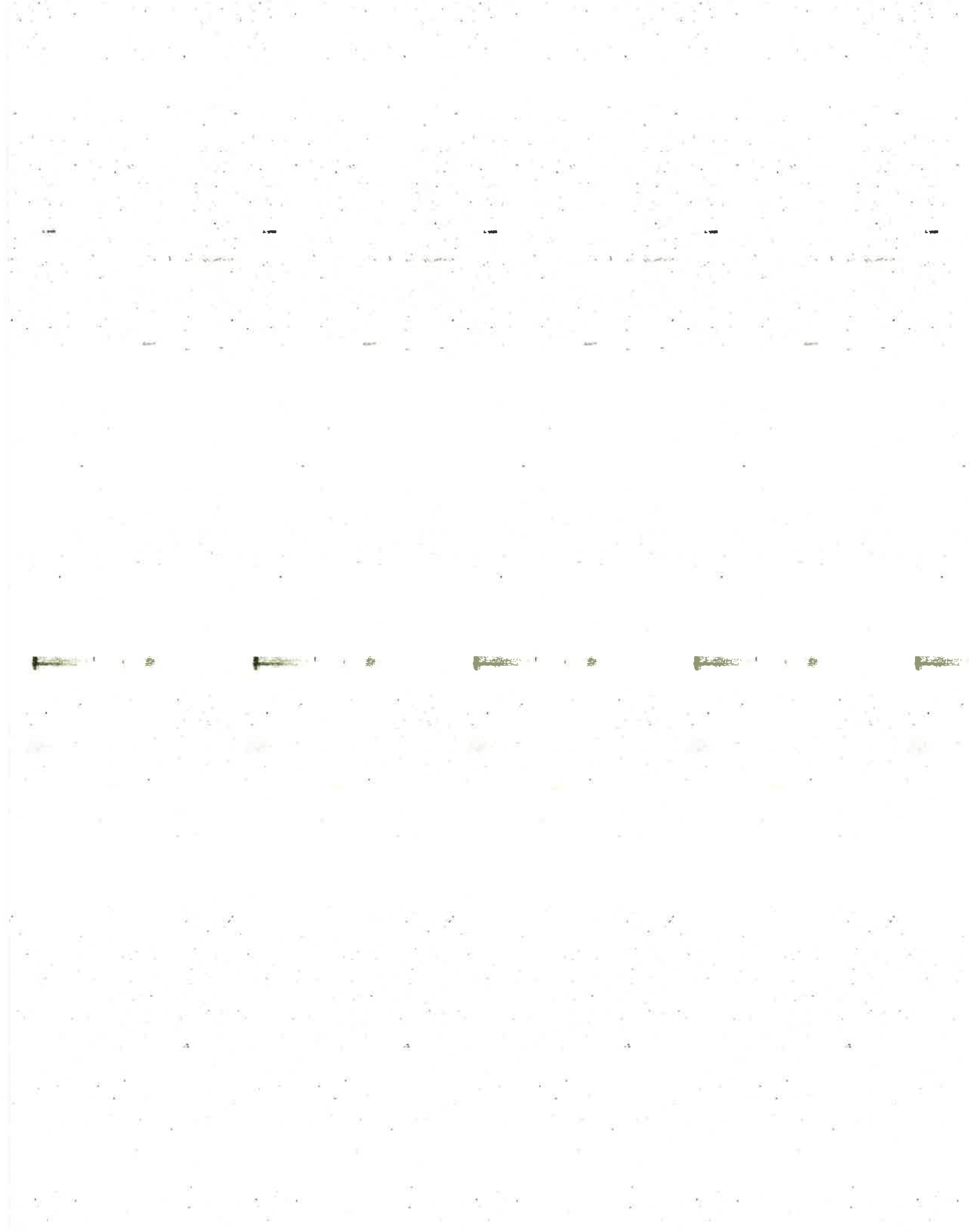
Agency	Sent Date	Return Date	Reviewer Name	Status	Util #	Notes
Progressive Transportation Services Administration	06/06/2014		Spring Worth	PENDING	N/A	<p>Connecticut Avenue and 24th Street. Add the following Tree Protection language to the site plan.</p> <p>a. Existing street trees within or directly adjacent to the limits of work must be protected from the proposed construction. All tree protection measures and excavation operations shall comply with the 2013 District Department of Transportation Standard Specifications for Highways and Structures – Section 608.07(B).</p> <p>b. None of the following shall occur within the drip line of a street tree without UFA permission: installation of super silt fence, alteration or disturbance to existing grade, staging/storage of construction materials, equipment, soil, or debris; disposal of any liquids e.g. concrete, gas, oil, paint; and blacktop, and trenching.</p> <p>c. No heavy equipment shall be used to remove existing hardscape within the drip line of an existing street tree.</p> <p>d. Excavations within the drip line shall proceed with care by use of hand tools to avoid injury to tree trunks, branches, and roots. The drip line is defined as the ground area under the canopy of the tree.</p> <p>e. No roots greater than two (2) inches in diameter shall be cut without UFA permission.</p> <p>f. Exposed roots 2 inches and larger in diameter shall be wrapped in burlap or other approved material and kept moist at all times.</p> <p>g. If there are any tree conflicts on this job site permit holder must suspend all work that contributes to the conflict and immediately contact Vera (Munevver) Ertem, Ward 3 Arborist at munevver.ertem@dc.gov .</p> <p>h. Applicant must exhaust all possible options to preserve a street tree as it relates to their project.</p> <p>May 22 2014 5:28PM sdendy wrote for Applicant - Please disregard previous comments from May 21st. New comments are being made after reviewing Tracking #93137 therefore please respond to the following:</p> <p>1. Upload documents dated 5/6/13 that were submitted under Tracking #93137 to include the Tree Preservation & Protection Plan, Tree Preservation Details and the Comment/Response letter to UFA.</p> <p>2. Show that the street trees adjacent to areas where sidewalk repair/replacement will occur are to be protected. Reference the DDOT Tree Protection language as shown on Sheets C6.00, C6.01 and GL-601.</p>
WMATA/JDAC	06/06/2014	05/14/2014	Aaron Overman	PENDING	30864	<p>May 14 2014 1:35PM aoverman wrote for Applicant - In the PDRM I submitted comments on required revisions to make the relocated bus stop ADA accessible. These are not shown in the site plans as they extend beyond the exact boundaries of the site, further south on 24th Street. In order to approve the applicant needs to demonstrate that they will be commencing other construction in public space in order to make the relocated bus stop accessible.</p> <p>"There is currently a bus stop (#1001875) that is used by the L2 Metrobus; the developer indicated that the sidewalk where the stop currently resides will be closed at the PDRM meeting. This stop cannot be merely closed; continuous access to the Woodley Park Metrorail station is needed by customers. Also, due to the ongoing reconstruction of the Red Line occasionally shuttle buses also use this stop as a replacement service for when the Red Line is temporarily closed.</p> <p>The developer must identify a new location for this bus stop further south along 24th Street adjacent to the Calvert House Apartments. The new location cannot block any driveways. A stop 60' past the driveway entrance to the Calvert House surface parking lot and garage will be sufficient with the bus stop area extending to the driveway</p>

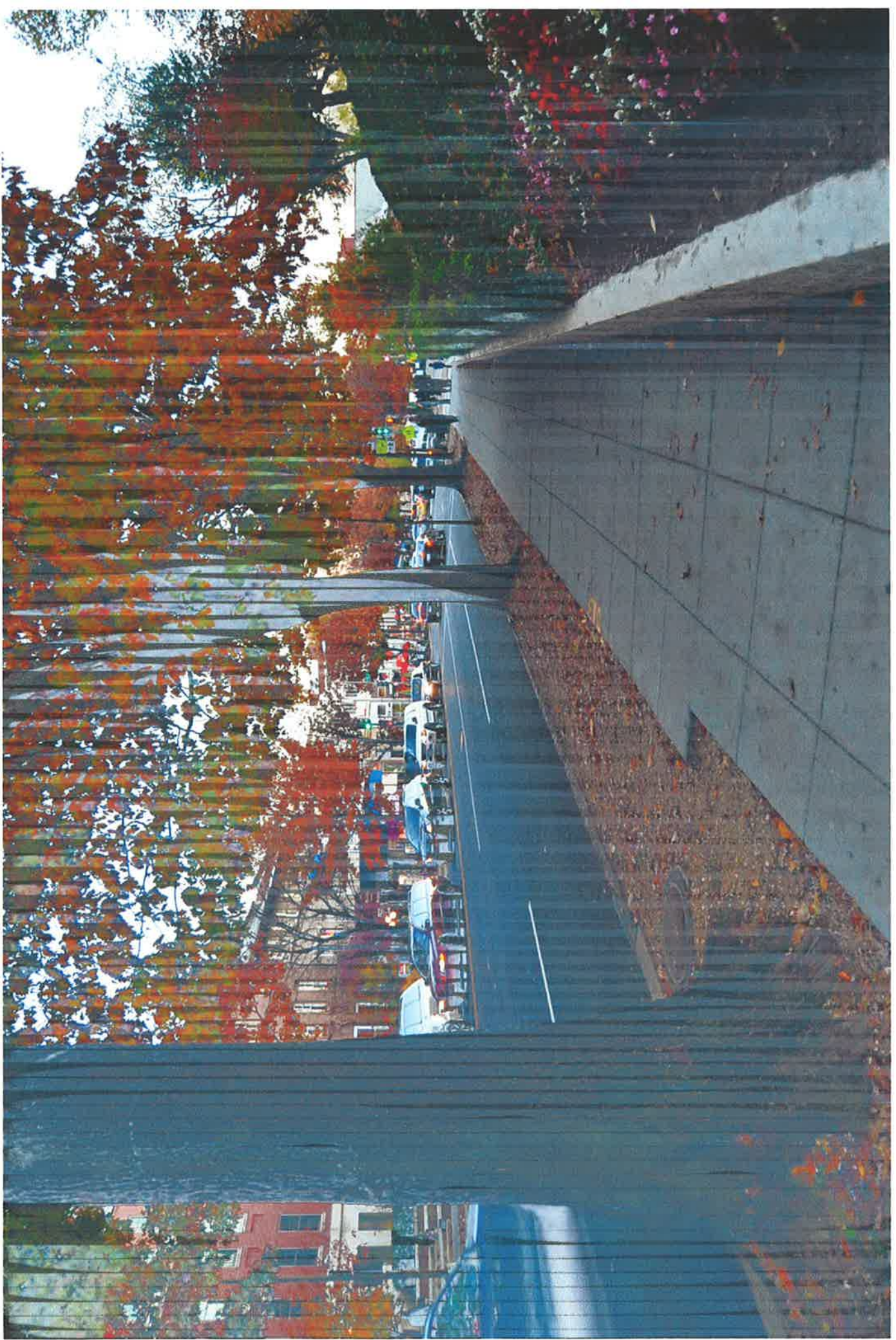
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Document Name	Status	Size(kb)	Uploaded By	Date Uploaded	View
Document Group: Erosion Control Plan					
94885_ECP_560201_4-28-14SedimentandErosionControl.pdf	Submitted Online	3587	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
Document Group: Fixture/Furniture Specification					
94885_FIXFURNSPEC_592787_4-28-14LandscapeDetails.pdf	Submitted Online	2593	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
Document Group: Photos					
94885_PHOTOS_447225_24thEastFacing.pdf	Submitted Online	1018	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_PHOTOS_442858_24thEntrance.pdf	Submitted Online	3063	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_PHOTOS_294627_ConnandWoodleyPanorama.pdf	Submitted Online	624	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_PHOTOS_450277_ConnandWoodley.pdf	Submitted Online	876	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_PHOTOS_189693_ConnNorthFacing.pdf	Submitted Online	270	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_PHOTOS_119987_ConnSouthFacing.pdf	Submitted Online	291	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_PHOTOS_099460_WoodleyEastFacing.pdf	Submitted Online	281	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_PHOTOS_543493_WoodleyEntrance.pdf	Submitted Online	1181	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_PHOTOS_155126_WoodleyWestFacing.pdf	Submitted Online	286	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
Document Group: Site Plan / Civil Drawings					
94885_SITEPLANDRAWINGS_750079_3-28-142660ConnecticutAveNW-PDRM.pdf	Submitted Online	60	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_SITEPLANDRAWINGS_299037_4-28-14DemoPlan.pdf	Submitted Online	982	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_SITEPLANDRAWINGS_454441_4-28-14DimentionPlan.pdf	Submitted Online	324	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_SITEPLANDRAWINGS_601386_4-28-14ExistingConditionsPlan.pdf	Submitted Online	1041	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_SITEPLANDRAWINGS_701123_4-28-14LandscapeDetails.pdf	Submitted Online	2593	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_SITEPLANDRAWINGS_837305_4-28-14SitePlan.pdf	Submitted Online	649	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_SITEPLANDRAWINGS_598744_4-28-14UtilityPlan.pdf	Submitted Online	651	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_SITEPLANDRAWINGS_542880_4-28-14WardmanDiscription.pdf	Submitted Online	62	PHILLIP PITTINGER-DUNHAM	4/30/2014	No Markups
94885_SITEPLANDRAWINGS_695692_C4.00.pdf	Submitted Online	707	PHILLIP PITTINGER-DUNHAM	6/6/2014	No Markups
94885_SITEPLANDRAWINGS_819190_C5.00.pdf	Submitted Online	524	PHILLIP PITTINGER-DUNHAM	6/6/2014	No Markups
94885_SITEPLANDRAWINGS_662249_C5.10.pdf	Submitted Online	733	PHILLIP PITTINGER-DUNHAM	6/6/2014	No Markups
94885_SITEPLANDRAWINGS_371050_C5.20.pdf	Submitted Online	200	PHILLIP PITTINGER-DUNHAM	6/6/2014	No Markups

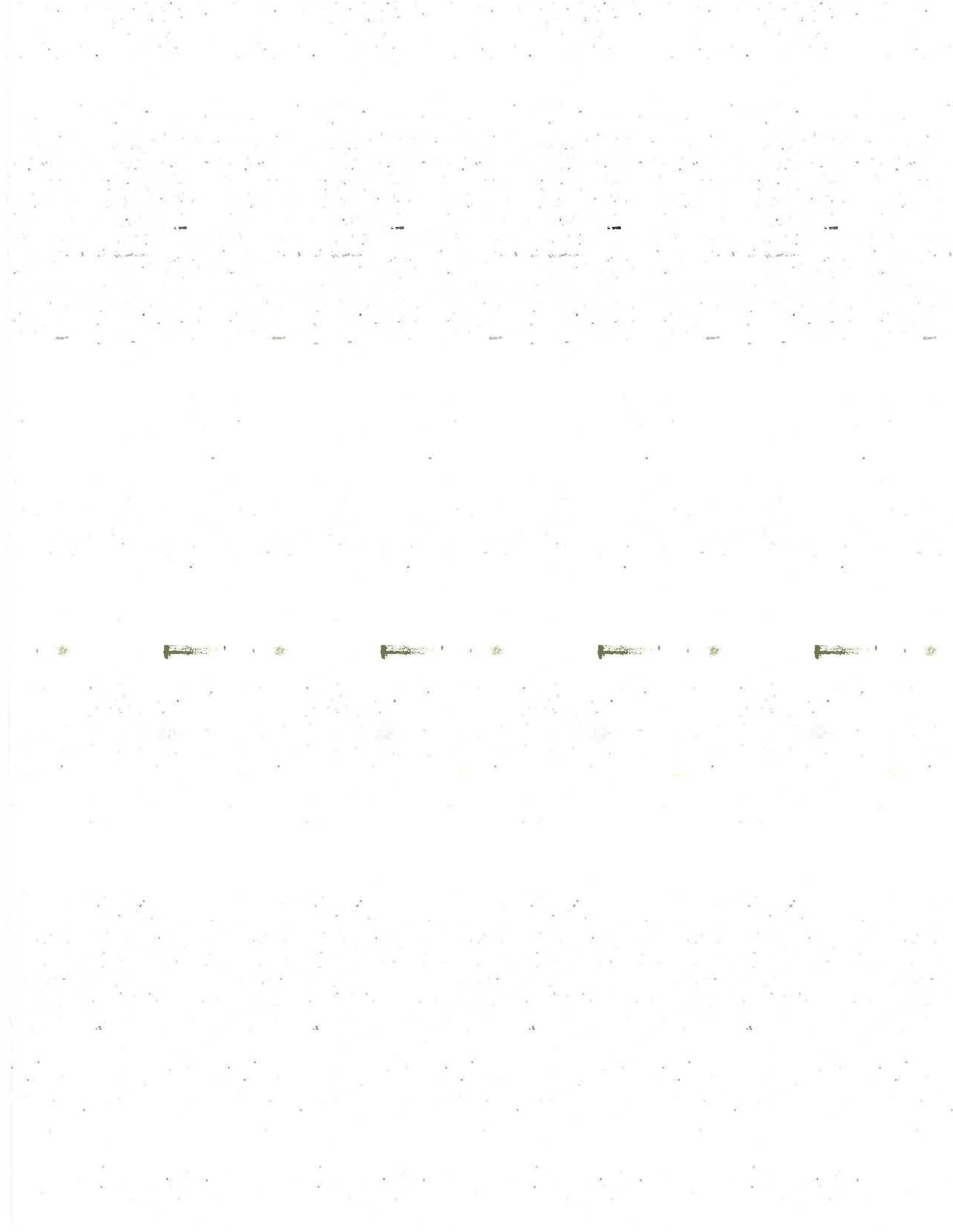
Document Name	Status	Size(kb)	Uploaded By	Date Uploaded	View
94885_SITEPLANDRAWINGS_087215_C6.70.pdf	Submitted Online	456	PHILLIP PITTINGER-DUNHAM	6/6/2014	No Markups
94885_SITEPLANDRAWINGS_478901_C7.20.pdf	Submitted Online	442	PHILLIP PITTINGER-DUNHAM	6/6/2014	No Markups
94885_SITEPLANDRAWINGS_616030_WardmanPublicSpaceCommitteeSubmission.pdf	Submitted Online	96	PHILLIP PITTINGER-DUNHAM	6/6/2014	No Markups
94885_SITEPLANDRAWINGS_319865_WrongWayTurningMovementExhibit.pdf	Submitted Online	90	PHILLIP PITTINGER-DUNHAM	6/6/2014	No Markups

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GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- CONTRACTOR SHALL SCHEDULE AND HOLD A PRE-CONSTRUCTION MEETING WITH THE SEDIMENT CONTROL INSPECTOR 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY.
- UNLESS OTHERWISE NOTED, ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH APPLICABLE PUBLISHED STANDARDS AND SPECIFICATIONS FOR SOIL AND EROSION CONTROL 2003 EDITION.
- FOR ADDITIONAL DETAILS AND SPECIFICATIONS NOT SHOWN HEREIN REFER TO THE HANDBOOK OF THE DOK/MPD.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ONSITE AT ALL TIMES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ANY ADDITIONAL EROSION CONTROL MEASURES NOT SHOWN HEREIN THAT ARE DEEMED NECESSARY BY THE APPROVING AUTHORITY AND/OR SITE INSPECTOR.
- THE CONTRACTOR SHALL INSPECT ALL EROSION AND SEDIMENT CONTROL DEVICES DAILY. ANY DAMAGED CONTROLS SHALL BE REPAIRED OR REPLACED BY THE CLOSE OF EACH WORKING DAY.
- THIS PLAN ILLUSTRATES HORIZONTAL LOCATION OF EXISTING UTILITIES BASED ON BEST AVAILABLE INFORMATION. THE INFORMATION SHOWN CONCERNING UNDERGROUND UTILITIES AND FEATURES IS NOT GUARANTEED, ALL INCLUSIVE OR CORRECT. THE CONTRACTOR SHALL VERIFY FEATURES PRIOR TO CONSTRUCTION. EXISTING UTILITIES SHALL BE MAINTAINED IN SERVICE AT ALL TIMES UNLESS OTHERWISE NOTED. ALL STRUCTURES ABOVE AND/OR BELOW GROUND THAT ARE ENCOUNTERED DURING CONSTRUCTION SHALL BE PROPERLY SUPPORTED AND MAINTAINED. THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE UTILITY OWNERS FOR THE PROTECTION OR RELOCATION OF SUCH STRUCTURES. IF DAMAGED DURING CONSTRUCTION, THE CONTRACTOR SHALL MAKE REPAIRS OR PAY FOR REPAIRS TO THE STRUCTURE TO THE OWNER'S SATISFACTION.
- CONTRACTOR TO EXERCISE EXTREME CAUTION WHEN WORKING AROUND EXISTING UTILITIES.
- CONTRACTOR TO STUDY GEOTECHNICAL INFORMATION AVAILABLE AND CLEARLY REPORT CONSTRUCTION METHODOLOGY TO THE OWNER PRIOR TO BIDDING.
- CONTRACTOR MUST ADHERE TO ALL SAFETY REGULATIONS GIVEN BY O.S.H.A.
- THE CONTRACTOR SHALL CALL "MISS UTILITY" AT 1-800-257-7777 AT LEAST FIVE (5) DAYS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDERGROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.
- ANY EXISTING CURB, CUTTERS OR ROADWAY SURFACE THAT IS DAMAGED OR REMOVED FOR PAZE OF UNDERGROUND FEATURES MUST BE REPLACED WITH THE SAME MATERIAL. I.E. GRANITE CURB MUST BE REPLACED WITH GRANITE CURB, OR CUTS IN CONCRETE MUST HAVE CONCRETE INSTALLED.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM SITE AND TOWARDS THE EXISTING CATCH BASINS UNLESS SHOWN OTHERWISE.
- CONTRACTOR SHALL PREVENT DUST FROM ESCAPING THE WORK SITE.
- AT THE END OF EACH WORK DAY, THE CONTRACTOR SHALL INSPECT ALL UTILITY TRENCHES FOR STANDING WATER. IF WATER EXISTS THE TRENCH SHALL BE DEWATERED WITH AN APPROVED FILTERING DEVICE BEFORE DISCHARGE. THE RUNOFF FROM DEWATERING ACTIVITIES SHALL NOT BE DISCHARGED DIRECTLY INTO THE STREET.
- PERMISSION MAY/SHALL BE REQUIRED FROM ADJOINING OWNERS FOR CONSTRUCTION, DEPENDING ON THE TYPE AND EXTENT OF ENCROACHMENT (FOOTINGS, FOOTING DRAINS, FOUNDATIONS, OTHER ENCROACHMENTS, ETC.). THE OWNER/DEVELOPER MAY CONSIDER PERFORMING INTERIOR AND EXTERIOR SURVEYS AND ASSESSMENTS TO INSURE THAT NO DAMAGE OCCURS DURING CONSTRUCTION.

SEQUENCE OF CONSTRUCTION:

- INSTALL PERIMETER CONTROLS: SAFETY FENCE, INLET PROTECTION, AND CONSTRUCTION ENTRANCE WITH WASH RACK. ACCESS TO PUBLIC ALLEY TO BE MAINTAINED AT ALL TIMES. SEE EROSION AND SEDIMENT CONTROL PLAN.
- DUST CONTROL MEASURES SHALL BE IMPLEMENTED WHILE CONSTRUCTION IS OCCURRING.
- EXISTING UTILITIES TO BE ABANDONED AND REMOVED FROM THE PUBLIC CONNECTION.
- DEMO ASPHALT/CONCRETE WITHIN PROPOSED CONSTRUCTION AREA. CONTRACTOR MAY USE EXISTING ASPHALT AREA FOR STAGING.
- CONSTRUCT INTERNAL BUILDING. CONSTRUCT PROPOSED SANITARY, WATER, AND STORM SEWER CONNECTIONS FROM THE PROPOSED BUILDING.
- AFTER COMPLETION OF BUILDING AND UTILITY CONSTRUCTION, CONTRACTOR SHALL COMMENCE CONSTRUCTION OF THE STREETSCAPE ELEMENTS.
- INSTALL STREETSCAPE ELEMENTS INCLUDING, BUT NOT LIMITED TO NEW SIDEWALK MATERIALS AND TREES.
- AFTER ALL CONSTRUCTION OPERATIONS CEASE, VEGETATION HAS BEEN ESTABLISHED AS SHOWN ON THE PLANS, AND THE INSPECTOR HAS APPROVED, ALL MECHANICAL SEDIMENT CONTROLS SHALL BE REMOVED.

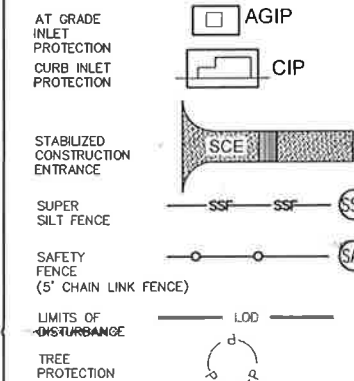
GENERAL NOTE:

- CONTRACTOR TO ENSURE AND MAINTAIN POSITIVE DRAINAGE THROUGHOUT CONSTRUCTION.

CAUTION

THE LOCATIONS OF ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON ABOVE GROUND EVIDENCE (INCLUDING, BUT NOT LIMITED TO, MANHOLES, INLETS, VALVES, AND MARKS MADE UPON THE GROUND BY OTHERS) AND ARE SPECULATIVE IN NATURE. THERE MAY ALSO BE OTHER EXISTING UNDERGROUND UTILITIES FOR WHICH THERE IS NO ABOVE GROUND EVIDENCE OR FOR WHICH NO ABOVE GROUND EVIDENCE WAS OBSERVED. THE EXACT LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY AND ALL CONSTRUCTION.

LEGEND



MISS UTILITY

CALL DC ONE CALL "DOC" AT 811 48 HOURS PRIOR TO THE START OF WORK. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF THE DISTRICT OF COLUMBIA CODES AND REGULATIONS.

ENVIRONMENTAL SITE ASSESSMENT:

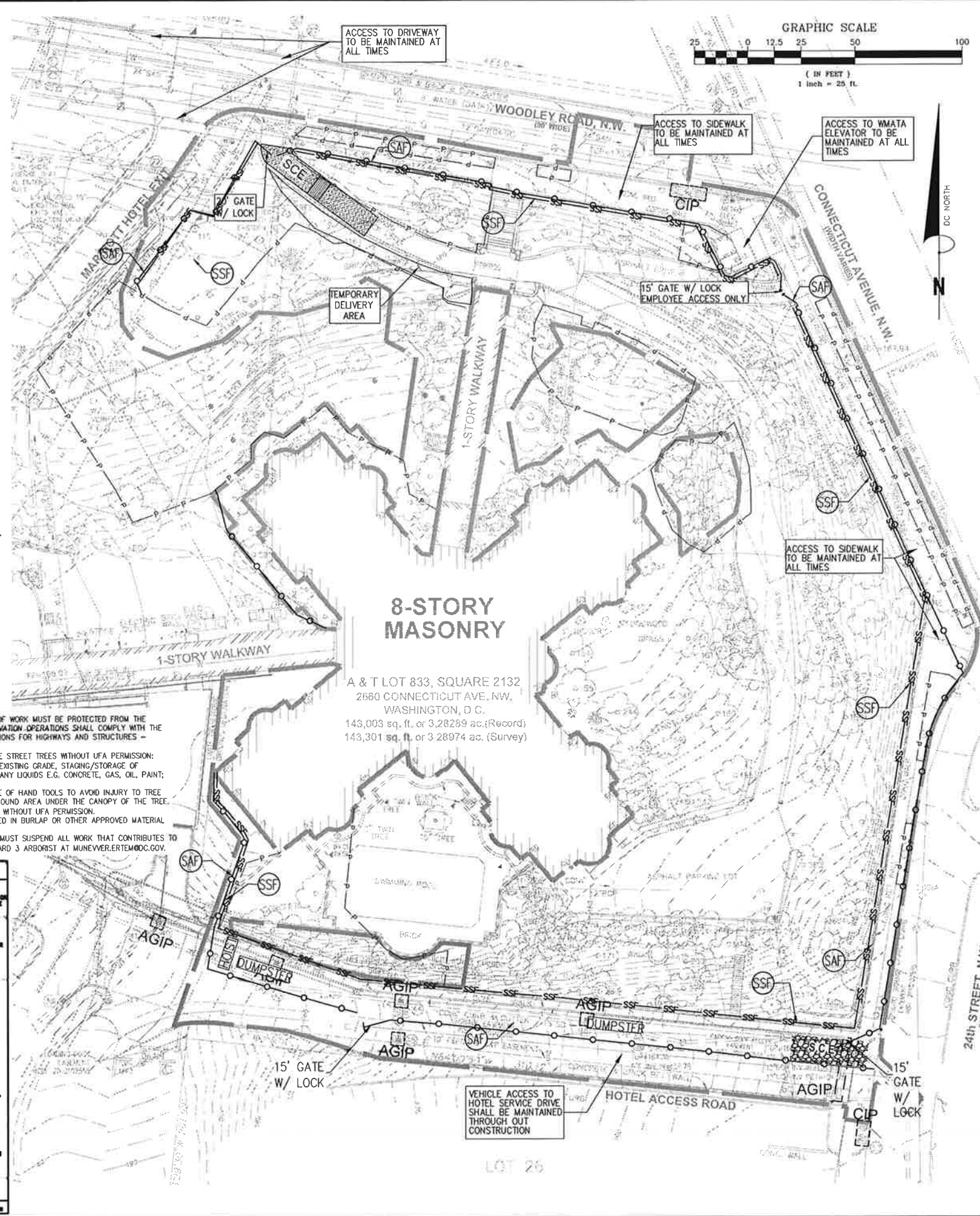
TO THE KNOWLEDGE OF THE ENGINEER THERE ARE NO TIDAL WETLANDS, TIDAL SHORES, TRIBUTARY STREAMS, FLOODPLAINS, CONNECTED TIDAL WETLANDS, HIGHLY ERODIBLE/PERMEABLE SOILS OR BUFFER AREAS ASSOCIATED WITH SHORES, STREAMS OR WETLANDS LOCATED ON THIS SITE. FURTHER, THERE ARE NO WETLAND PERMITS REQUIRED FOR THIS DEVELOPMENT PROJECT. ADDITIONALLY, THERE ARE NO KNOWN UNDERGROUND STORAGE TANKS OR AREAS OF SOIL OR GROUNDWATER CONTAMINATION ON THE SITE.

SITE INFORMATION:

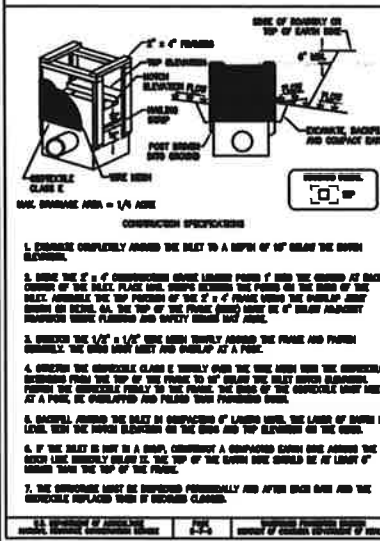
TOTAL AREA OF SITE = 3.29 ACRES
 AREA DISTURBED (INCLUDES ROW) = 2.15 ACRES
 BUILDING AREA = 0.67 ACRES
 TOTAL CUT = 11,125 CU. YARDS*
 TOTAL FILL = 0 CU. YARDS*
 *OFFSITE WASTE/BORROW AREA LOCATION - TO BE SUBMITTED BY CONTRACTOR FOR APPROVAL
 *THESE NUMBERS ARE FOR PERMITTING ONLY AND NOT FOR BIDDING

TREE PROTECTION NOTES:

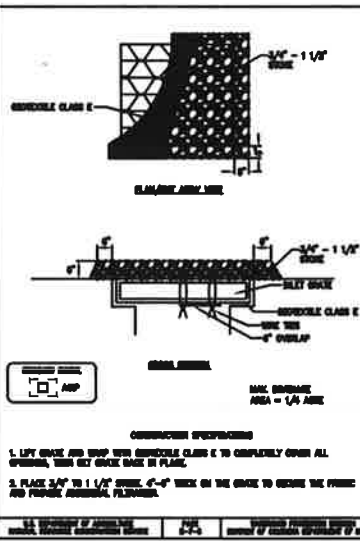
- EXISTING STREET TREES WITHIN OR DIRECTLY ADJACENT TO THE LIMITS OF WORK MUST BE PROTECTED FROM THE PROPOSED CONSTRUCTION. ALL TREE PROTECTION MEASURES AND EXCAVATION OPERATIONS SHALL COMPLY WITH THE 2013 DISTRICT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND STRUCTURES - SECTION 608.07(B).
- NONE OF THE FOLLOWING SHALL OCCUR WITHIN THE DRIP LINE OF THESE STREET TREES WITHOUT UFA PERMISSION: INSTALLATION OF SUPER SILT FENCE, ALTERATION OR DISTURBANCE TO EXISTING GRADE, STAGING/STORAGE OF CONSTRUCTION MATERIALS, EQUIPMENT, SOIL, OR DEBRIS; DISPOSAL OF ANY LIQUIDS E.G. CONCRETE, GAS, OIL, PAINT; AND BLACKTOP AND TRENDING.
- EXCAVATIONS WITHIN THE DRIP LINE SHALL PROCEED WITH CARE BY USE OF HAND TOOLS TO AVOID INJURY TO THE TRUNKS, BRANCHES, AND ROOTS. THE DRIP LINE IS DEFINED AS THE GROUND AREA UNDER THE CANOPY OF THE TREE.
- NO ROOTS GREATER THAN TWO (2) INCHES IN DIAMETER SHALL BE CUT WITHOUT UFA PERMISSION.
- EXPOSED ROOTS 2 INCHES AND LARGER IN DIAMETER SHALL BE WRAPPED IN BURLAP OR OTHER APPROVED MATERIAL AND KEPT MOIST AT ALL TIMES.
- IF THERE ARE ANY TREE CONFLICTS ON THIS JOB SITE PERMIT HOLDER MUST SUSPEND ALL WORK THAT CONTRIBUTES TO THE CONFLICT AND IMMEDIATELY CONTACT VERA (MUNEVVER) ERTEM, WARD 3 ARBORIST AT MUNEVVER.ERTEM@DC.GOV.



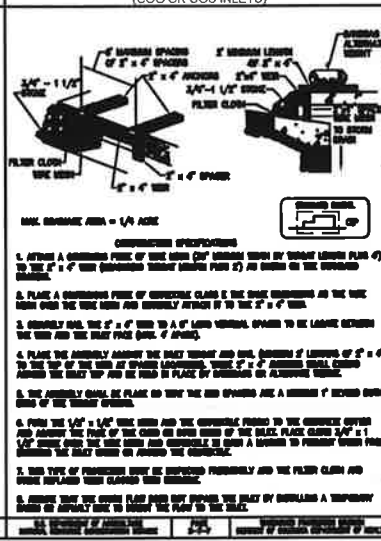
DETAIL 6A - STANDARD INLET PROTECTION



DETAIL 6B - AT GRADE INLET PROTECTION



DETAIL 6C - CURB INLET PROTECTION (COG OR COS INLETS)



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EROSION AND SEDIMENT CONTROL PHASE - I
 FINAL SITE PLAN
WARDMAN TOWER - 2660 CONNECTICUT AVENUE, NW
 SQUARE 2132 LOT 833
 WASHINGTON WARD 3 DISTRICT OF COLUMBIA



DATE	DESCRIPTION
02/21/2014	DC WATER SUBMISSION #1
02/27/2014	PERMIT SET
03/14/2014	SOE SUBMISSION
05/07/2014	PERMIT SET

DATE	DESIGN	DMR	MWS
	JBW	DMR	MWS
	SCALE	H: 1"=25'	CHKD

JOB No. 5711-01-001
 DATE : NOVEMBER 5, 2013
 FILE No. 5711-DP-001