

# WARDMAN PARK

WASHINGTON , DC

## HPRB CONCEPT SUBMISSION

JANUARY 21, 2022

APPLICANT / DEVELOPER: CP VII WARDMAN 1-A LLC  
ARCHITECT: SHALOM BARANES ASSOCIATES  
LANDSCAPE ARCHITECT: PARKER RODRIGUEZ



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## CONCEPT DESIGN - ARCHITECTURAL NARRATIVE

### PROJECT:

Construction of two 90' tall apartment buildings to replace existing 99' tall hotel. The existing, non-historic hotel is connected to the landmarked tower by a one-story arcade. The proposed disturbance / redevelopment is occurring outside the boundary of the landmark.

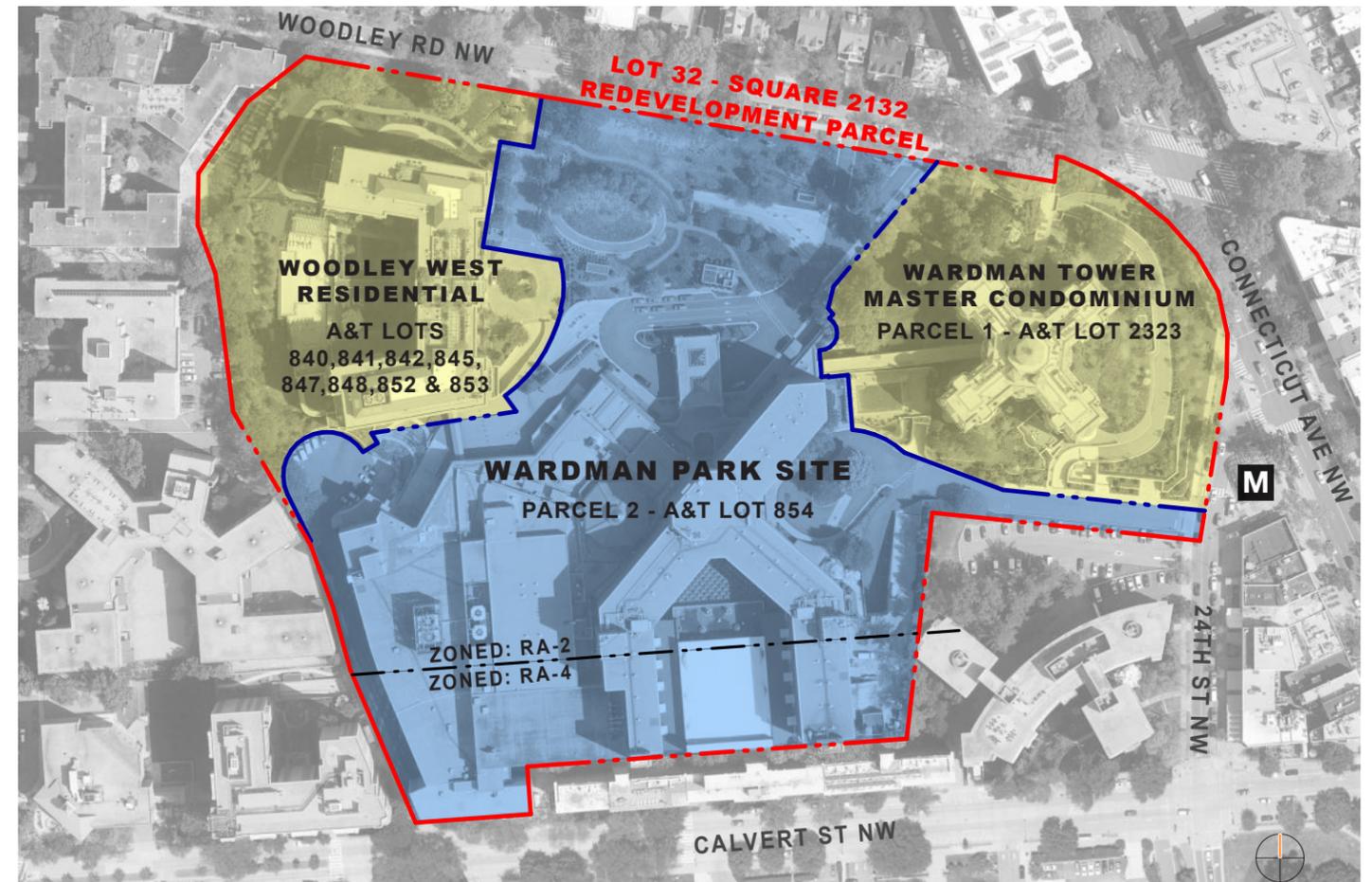
### SITE:

The 9.5 acre site is part of a 16 acre three parcel zoning lot and includes the 1928 historic Wardman Tower and the 2012 Woodley West apartment building.

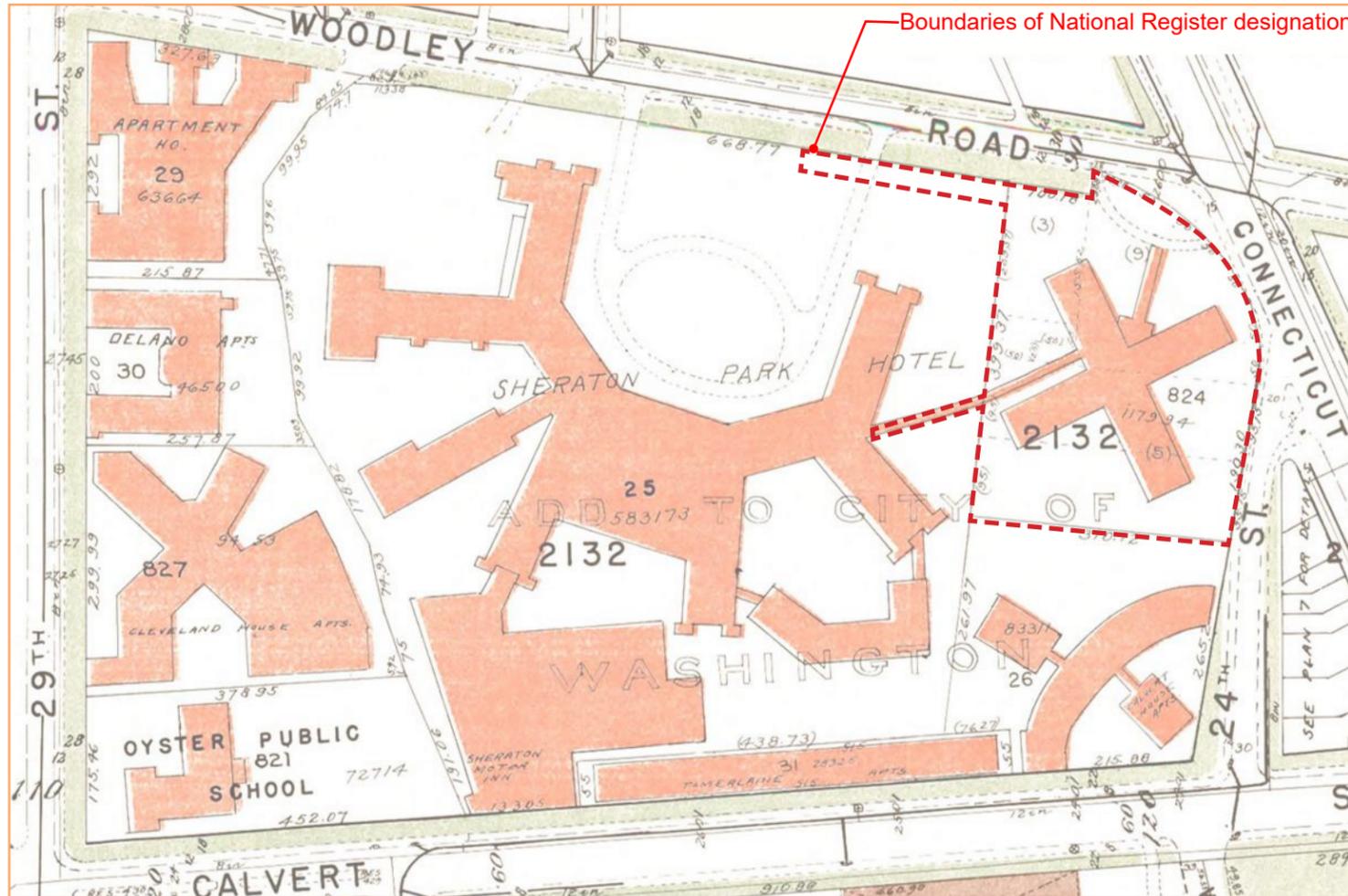
### DESIGN INTENT:

The proposed design embraces the spirit of the original 1918 Wardman Hotel which occupied the site up until the late 1970s with a free form massing spanning the width of the parcel. Most significantly, it also incorporates and enhances the existing 1.5 acre north lawn which over the years, has been made accessible to the public as a passive neighborhood amenity. The sinuous forms of the new buildings, constructed primarily with brick and terracotta facades, will be bookended by the red brick Wardman Tower and the Woodley West and reflect the variety of materials and colors exhibited by other neighborhood apartment buildings.

Proposed setbacks from neighboring buildings are significantly improved over existing conditions. The overall lot occupancy is reduced from 47% to 23%, resulting in the addition of 102,000 sf of open space to the site. The project will meet or exceed LEED NC Silver Rating.



SITE BOUNDARY DIAGRAM

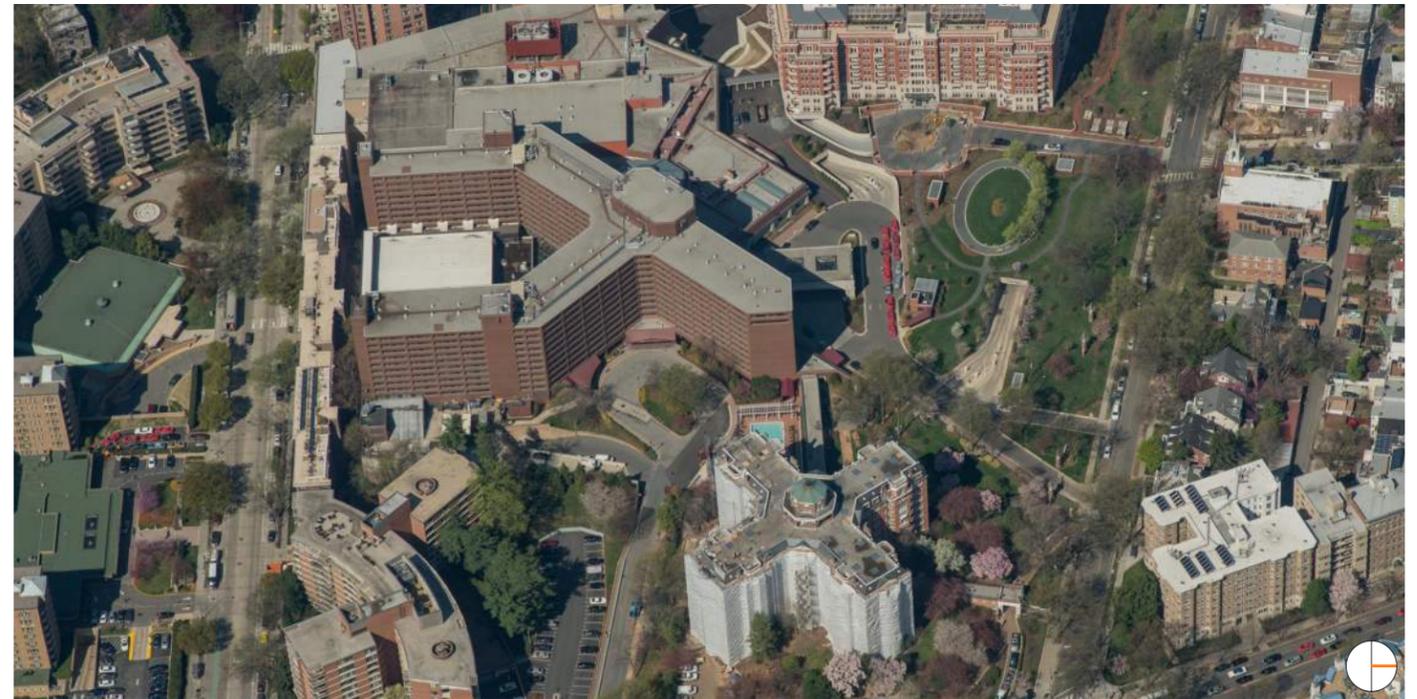
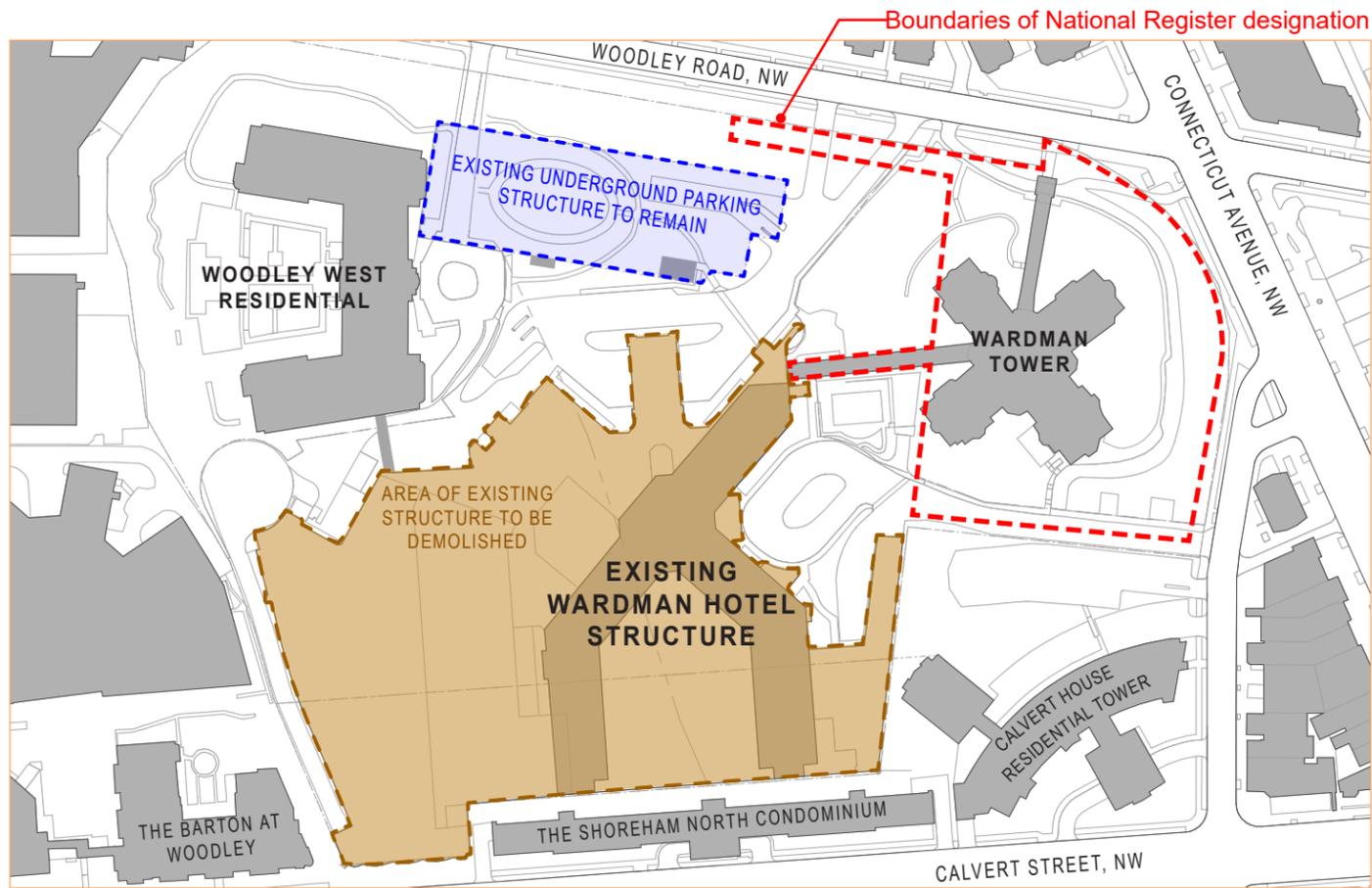


SOURCE: BAIST'S REAL ESTATE ATLAS SURVEYS OF WASHINGTON, DISTRICT OF COLUMBIA: VOLUME 3, PLATE 25, 1959.

SOURCE: AERIAL VIEW (B) SHOWING ENTRANCE GATES, SHERATON (WARDMAN) PARK COMPLEX, EVENING STAR-DAILY NEWS, SEPT.1968. SPECIAL COLLECTIONS (WASHINGTONIANA), DC PUBLIC LIBRARY.

*“The Wardman Park Annex (1928), now known as the Wardman Tower, 2600 Woodley Road, Washington, DC, was listed in the DC Inventory of Historic Sites in 1979 and National Register in 1984. This amended application is for a boundary increase to include two pairs of entrance gates, and for interior designation of the Wardman Tower lobby. The two pairs of gates, fronting Woodley Road, were built in 1927 as entrances to the original and no longer extant Wardman Park Hotel (1918). Although moved according to a re-alignment of driveways following demolition of the historic hotel, the gates retain their historic setting and integrity. In order to include these gates, this amendment proposes to extend the boundaries by a strip of land measuring 280 feet by 20 feet running parallel to Woodley Road from the eastern edge of the existing landmark boundary.”*

SOURCE: WARDMAN PARK ANNEX. NATIONAL REGISTER OF HISTORIC PLACES REGISTRATION FORM, U.S. DEPARTMENT OF INTERIOR. FEBRUARY 27, 2017. SUMMARY PARAGRAPH, SECTION 7, PAGE 4.



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1. VIEW



2. VIEW



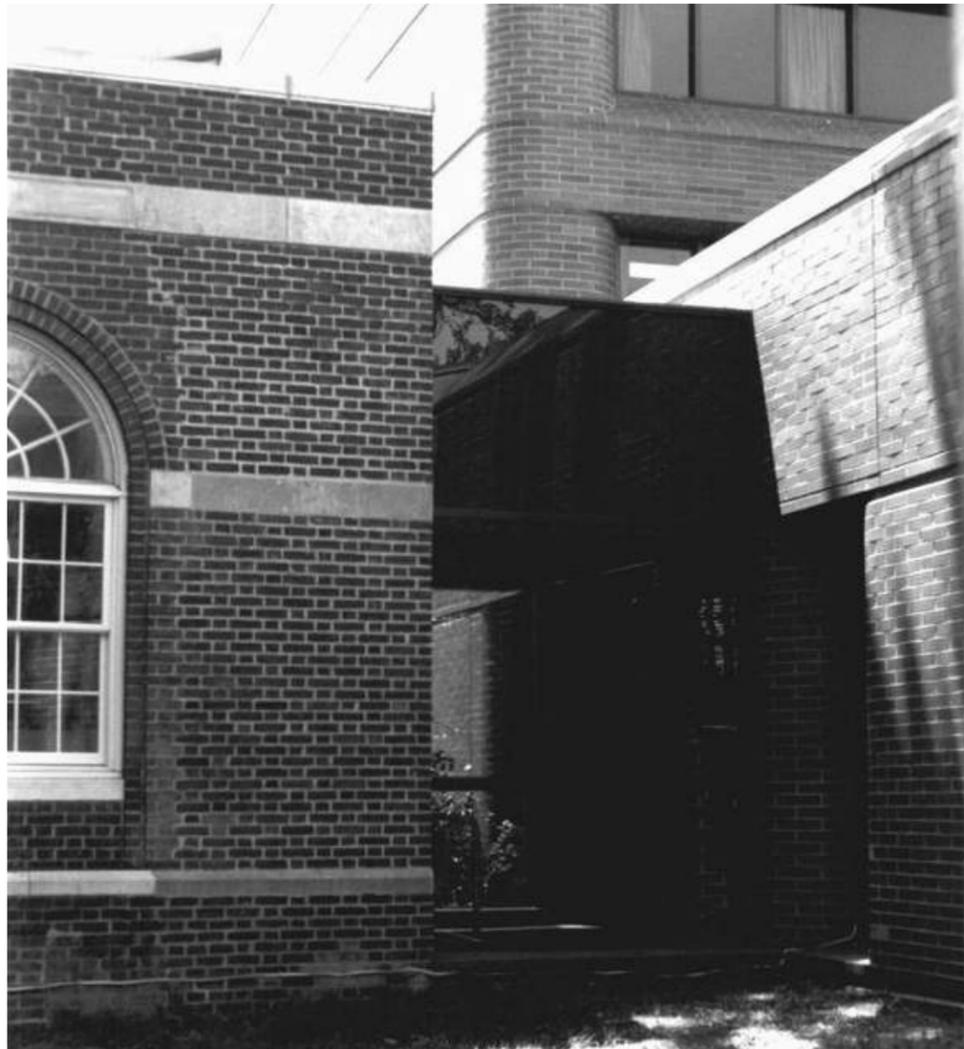
3. VIEW



4. VIEW



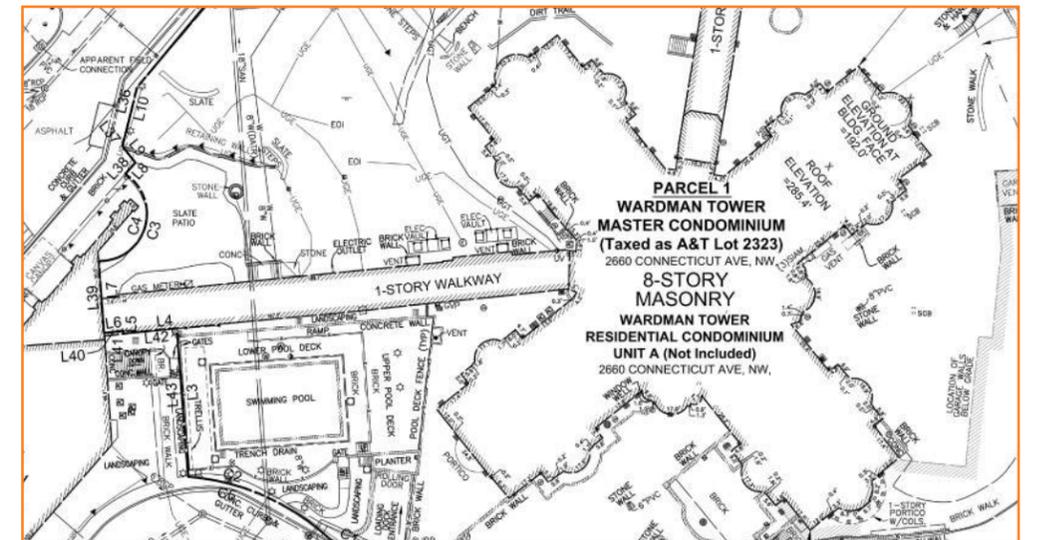
5. VIEW



SOURCE: ARCADE LOOKING SOUTHEAST. ANNE H. ADAMS. JUNE, 1983. HISTORIC PRESERVATION DIVISION - DCRA.



SOURCE: CONTEMPORARY ADDITION TO WEST END OF ARCADE, LOOKING SOUTHWEST. ANNE H. ADAMS. JUNE, 1983. HISTORIC PRESERVATION DIVISION - DCRA.



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1. VIEW



2. VIEW



3. VIEW



4. VIEW



5. VIEW



1. VIEW



2. VIEW



3. VIEW



4. VIEW



5. VIEW

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NOTE THAT PLANS ARE PRELIMINARY AND ARE SUBJECT TO REFINEMENT DURING THE COURSE OF THE DESIGN EVOLUTION.



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SITE PLAN - PROPOSED

A-8

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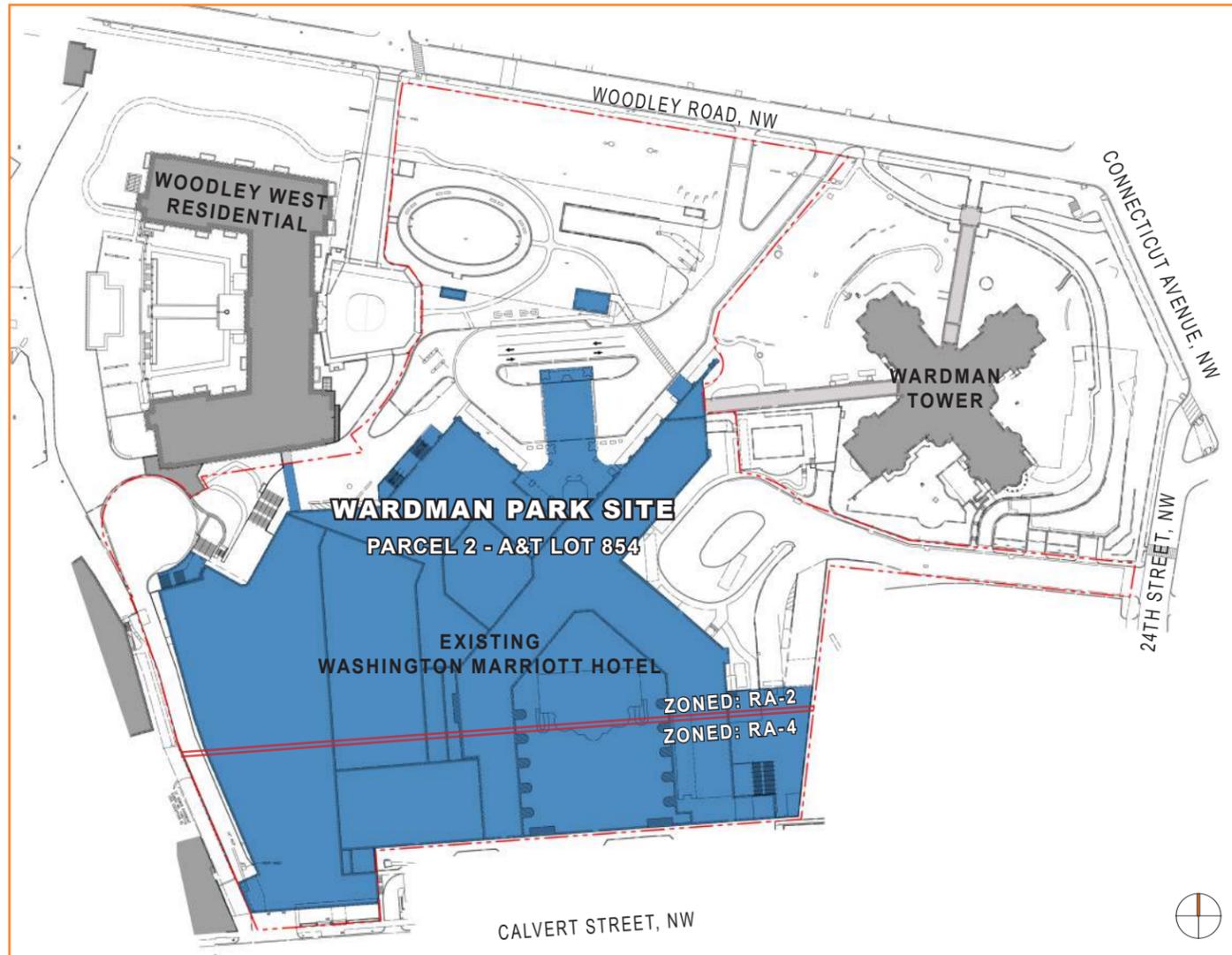


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AERIAL VIEW NORTHWEST - PROPOSED | A-10

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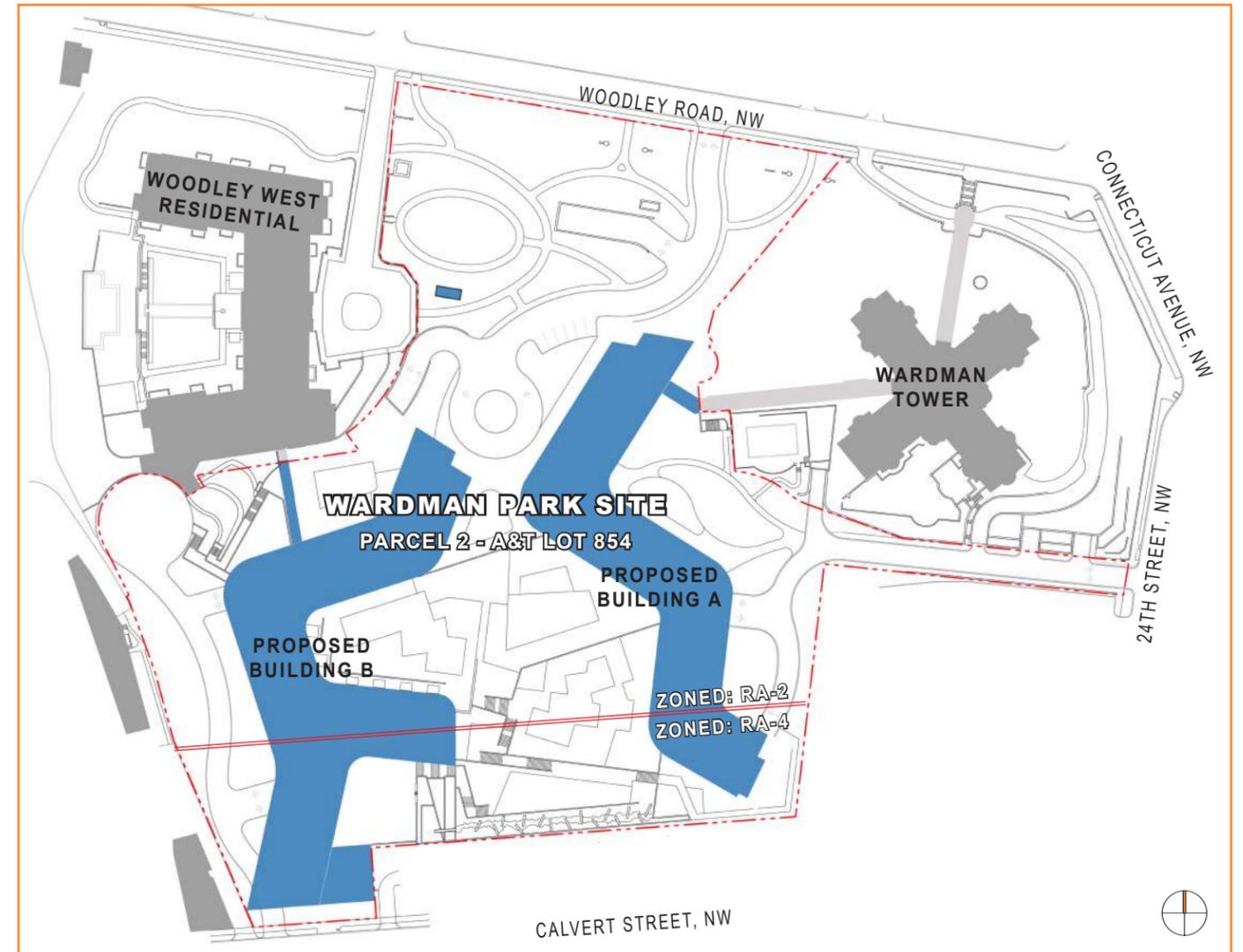


EXISTING

LOT 854 SITE AREA: 414,365 SF

EXISTING LOT OCCUPANCY: **47%**

47% OR 4.78 ACRES

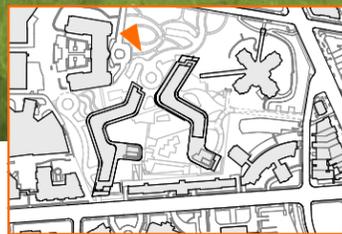


PROPOSED

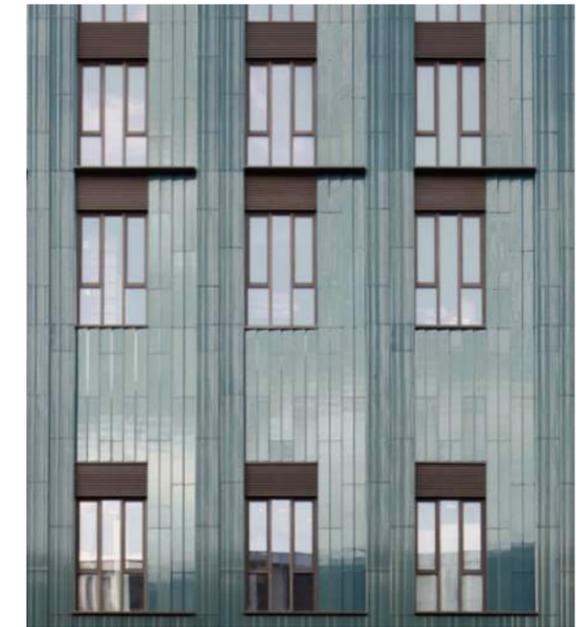
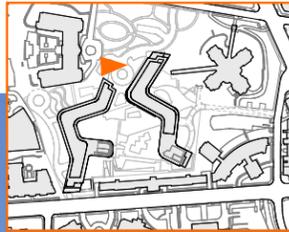
LOT 854 SITE AREA: 414,365 SF

PROPOSED LOT OCCUPANCY: **23%**

23% OR 2.34 ACRES



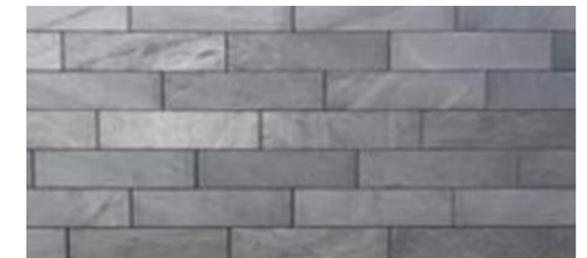
NOTE: The elevation drawings included in this submission depict the primary façade materials as brick and metal for the west building and terracotta for the east building. While these represent our preferred palettes, market conditions related to complications with manufacturing timelines and delivery may lead us propose substitutions for the terracotta and metal selections.



3 CLADDING: GLAZED TERRACOTTA PANELS



2 GLAZING FRAMING: PAINTED ALUMINUM



1 WALL BASE: GRAYSON SLATE

NOTE: The elevation drawings included in this submission depict the primary façade materials as brick and metal for the west building and terracotta for the east building. While these represent our preferred palettes, market conditions related to complications with manufacturing timelines and delivery may lead us propose substitutions for the terracotta and metal selections.



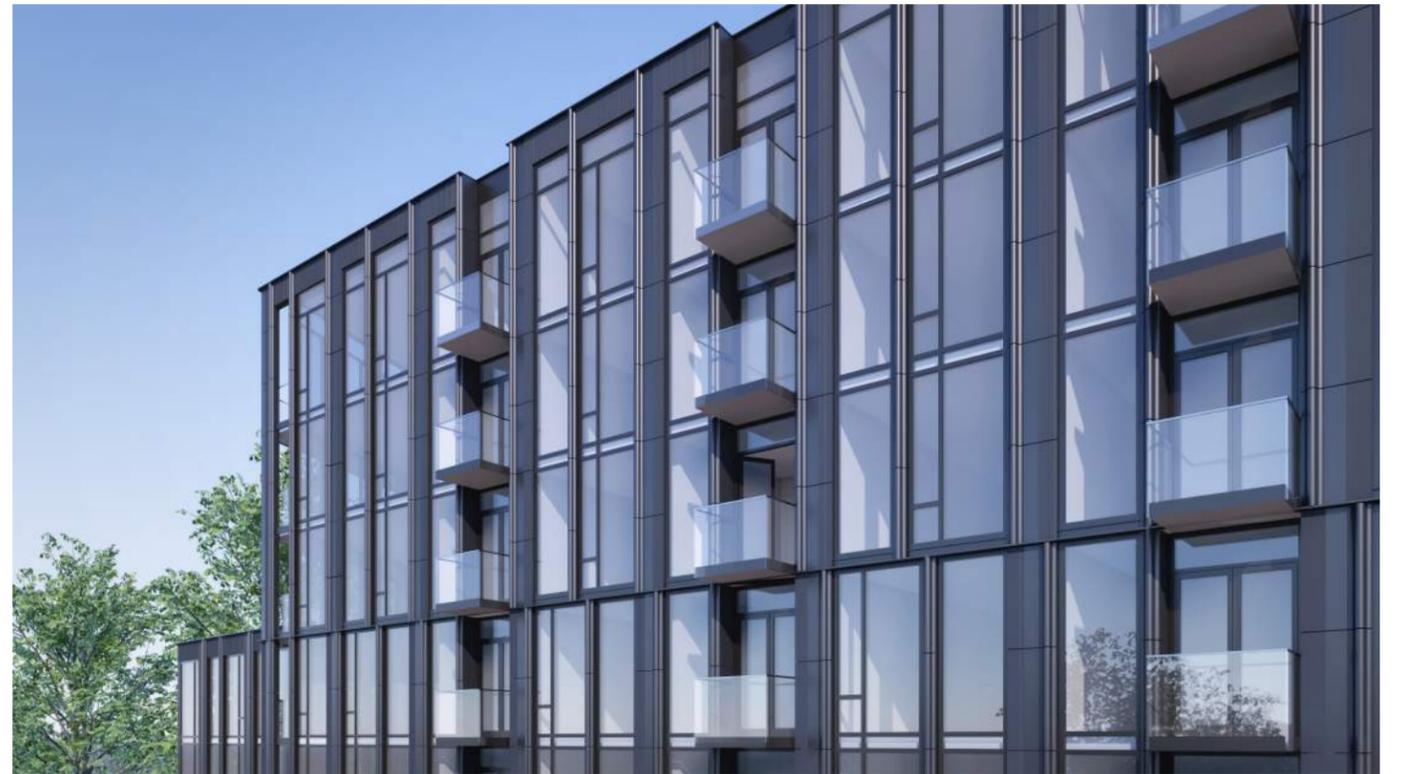
SAND TERRACOTTA + DARK METAL



VERDIGRIS TERRACOTTA + DARK METAL



BRICK RED TERRACOTTA + DARK METAL



DARK TERRACOTTA + DARK METAL



KLINGLE VALLEY BRIDGE



OYSTER-ADAMS BILINGUAL SCHOOL



OMNI SHOREHAM HOTEL



WARDMAN TOWER



DUKE ELLINGTON BRIDGE ON CALVERT STREET



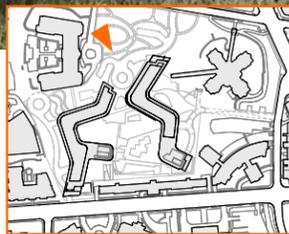
HOWARD TAFT BRIDGE ON CONNECTICUT AVENUE



HISTORIC 2602 CONNECTICUT AVENUE IN FOREGROUND;  
WARDMAN TOWER IN BACKGROUND

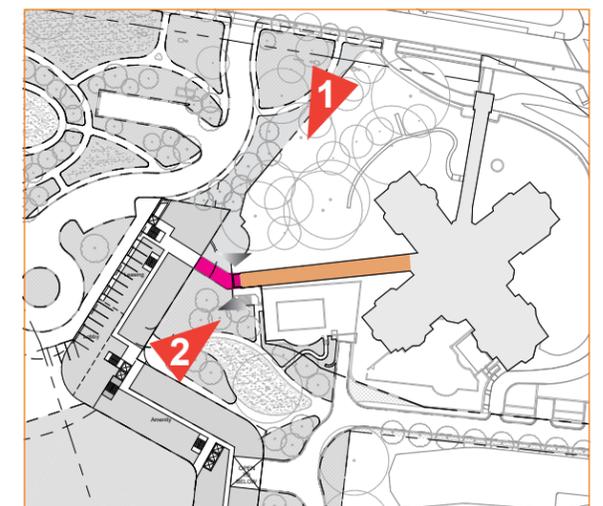
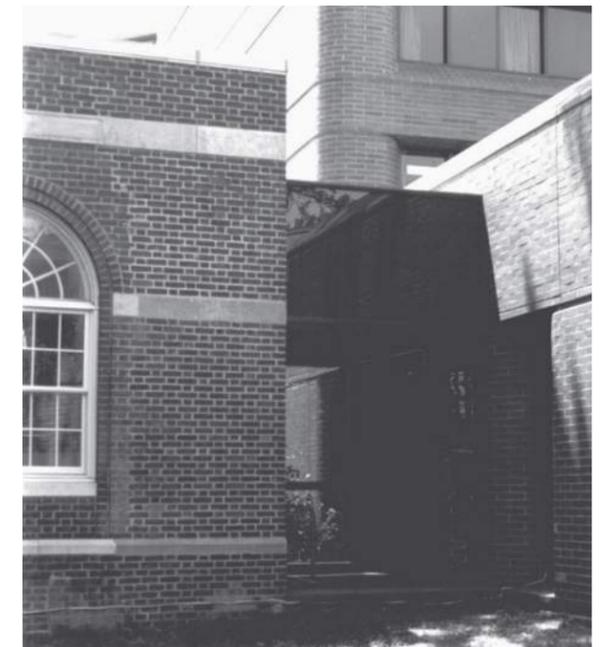
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LOOKING SOUTH

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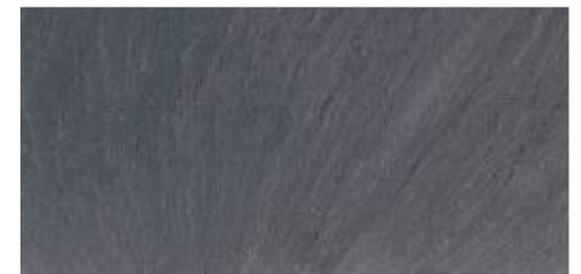
1. PROPOSED CONNECTION LOOKING SOUTH



2. PROPOSED CONNECTION LOOKING NORTH



2 CLADDING: ACM PANELS + PAINTED ALUMINUM EXTRUSIONS



1 WALL BASE: GRAYSON SLATE



VIEW LOOKING NORTHEAST ON CALVERT STREET



VIEW LOOKING WEST ON CALVERT STREET



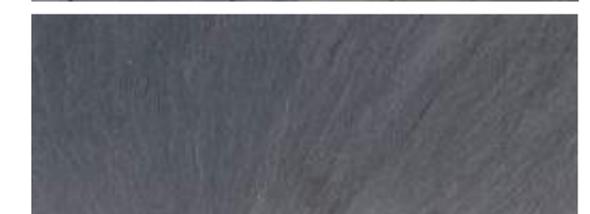
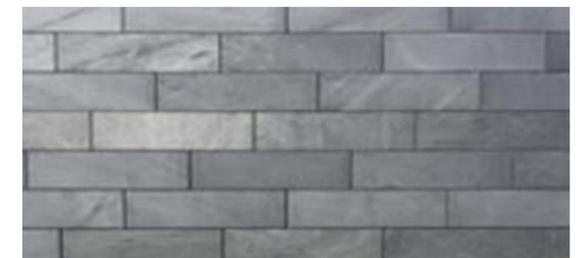
4 WALL CLADDING: MANGANESE IRONSPOT FACE BRICK



3 INSET CLADDING: ACM PANELS



2 GLAZING FRAMING: PAINTED ALUMINUM



1 WALL BASE: GRAYSON SLATE



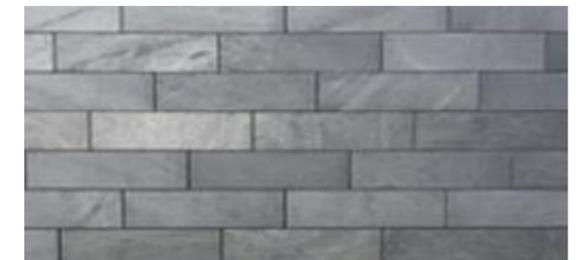
4 WALL CLADDING: ACM PANELS



3 VERTICAL BATTEN: ANODIZED ALUMINUM



2 GLAZING FRAMING: PAINTED ALUMINUM



1 WALL BASE: GRAYSON SLATE



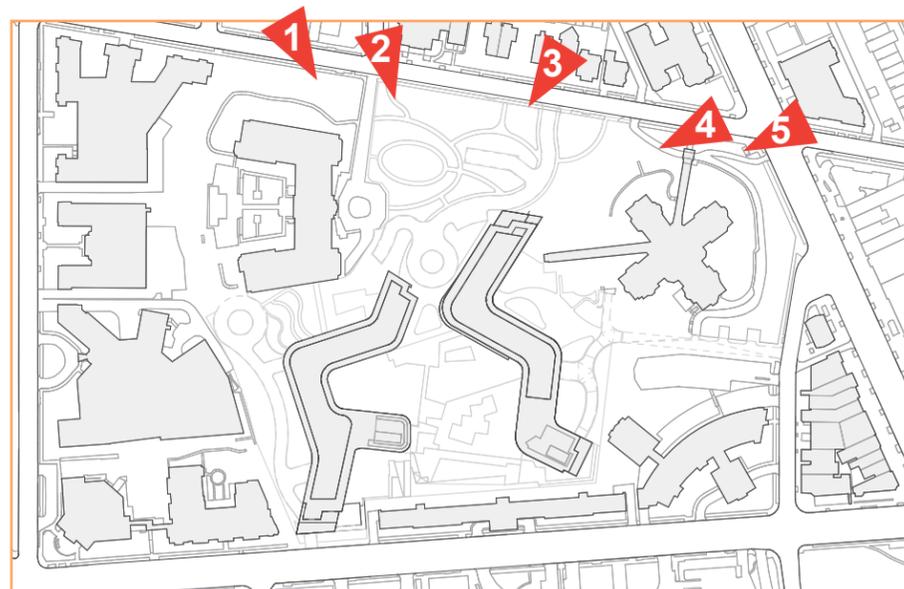
1. VIEW



2. VIEW



3. VIEW



4. VIEW



5. VIEW

ANIMATION URL: [CLICK HERE](#)



EXISTING



PROPOSED

VIEW LOOKING WEST ON DUKE ELLINGTON BRIDGE





EXISTING



PROPOSED

VIEW ON 24TH STREET LOOKING WEST





- KEY
- ① THE ELLIPSE
  - ② ARRIVAL PLAZA
  - ③ THE GREENSWARD
  - ④ GARAGE ENTRY
  - ⑤ LOADING/SERVICE ENTRY
  - ⑥ AMENITY COURTYARD

NOTE THAT PLANS ARE PRELIMINARY AND ARE SUBJECT TO REFINEMENT DURING THE COURSE OF THE DESIGN EVOLUTION.



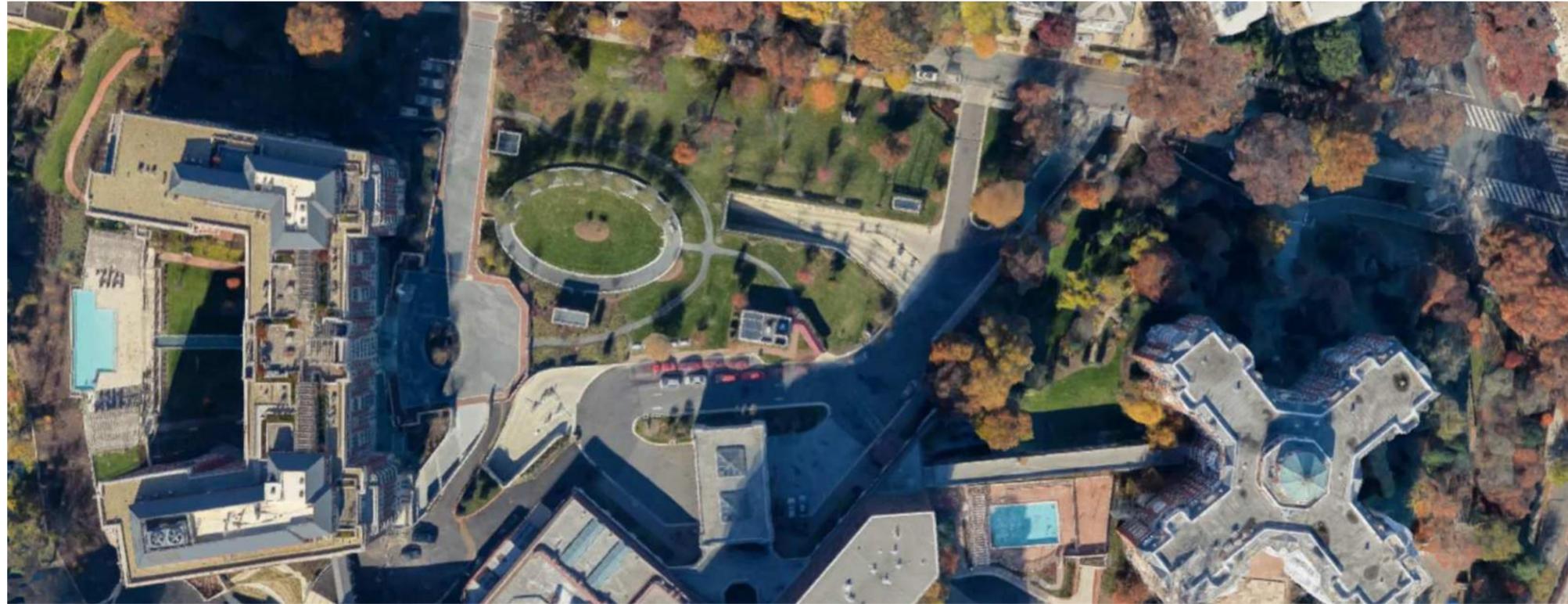
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LANDSCAPE SITE PLAN | A-25

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EXISTING



PROPOSED



LOOKING SOUTHEAST

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LANDSCAPE AERIAL | A-27  
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LOOKING SOUTHWEST

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LANDSCAPE PERSPECTIVE | A-28

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LOOKING EAST

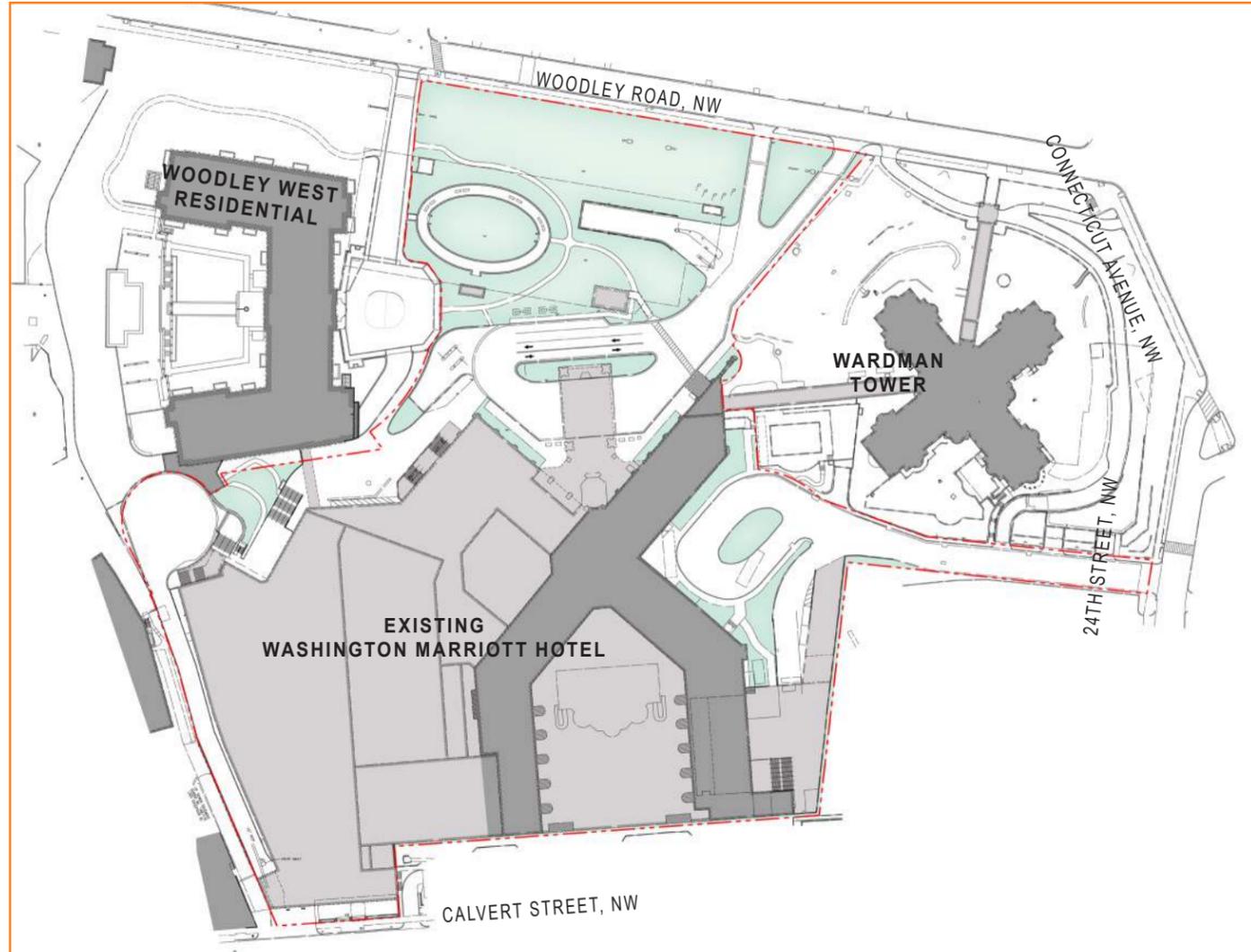
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LANDSCAPE PERSPECTIVE | A-29

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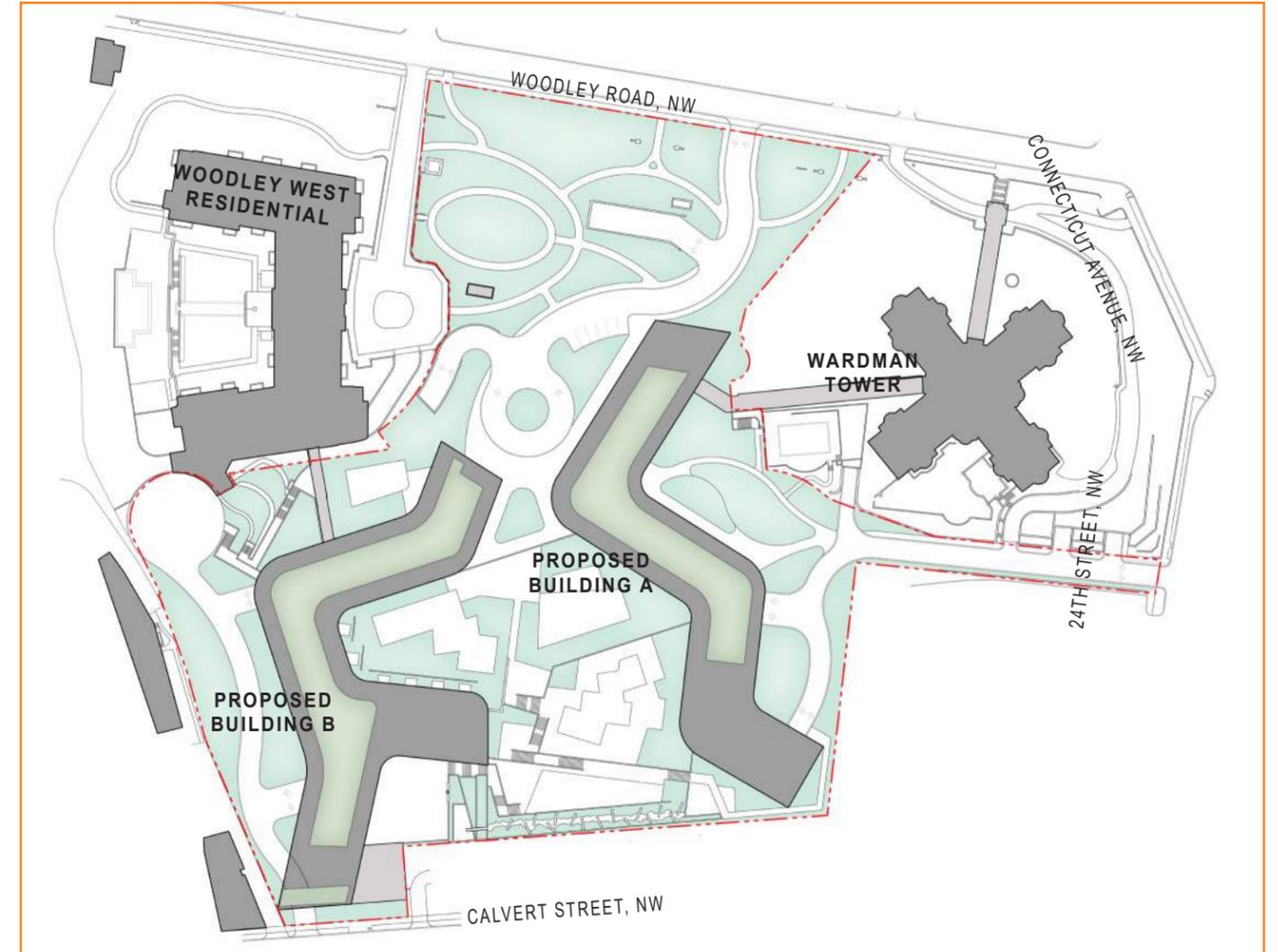


EXISTING

TOTAL SITE AREA: 414,365 SF

EXISTING PERVIOUS AREA: 76,944 SF

EXISTING PERVIOUS AREA: **18.5%** OR **1.77** ACRES



PROPOSED

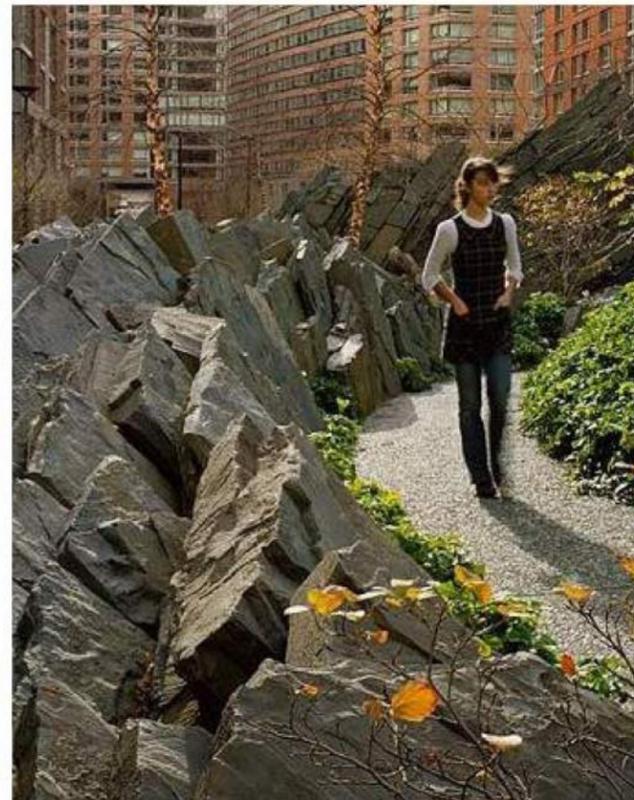
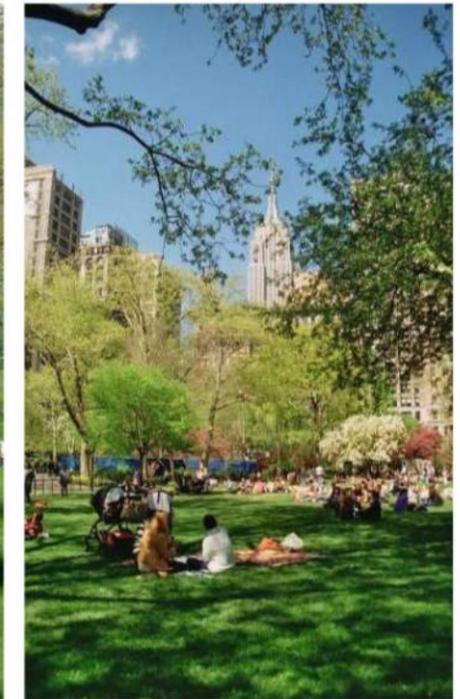
TOTAL SITE AREA: 414,365 SF

PROPOSED PERVIOUS AREA: 162,585 SF

PROPOSED PERVIOUS AREA: **39%** OR **3.73** ACRES

KEY

- AT GRADE PERVIOUS AREA
- GREEN ROOF AREA
- BUILDING BASE
- BUILDING TOWER
- BOUNDARY LINE



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LANDSCAPE CONCEPT IMAGES

A-31

shalom baranes associates

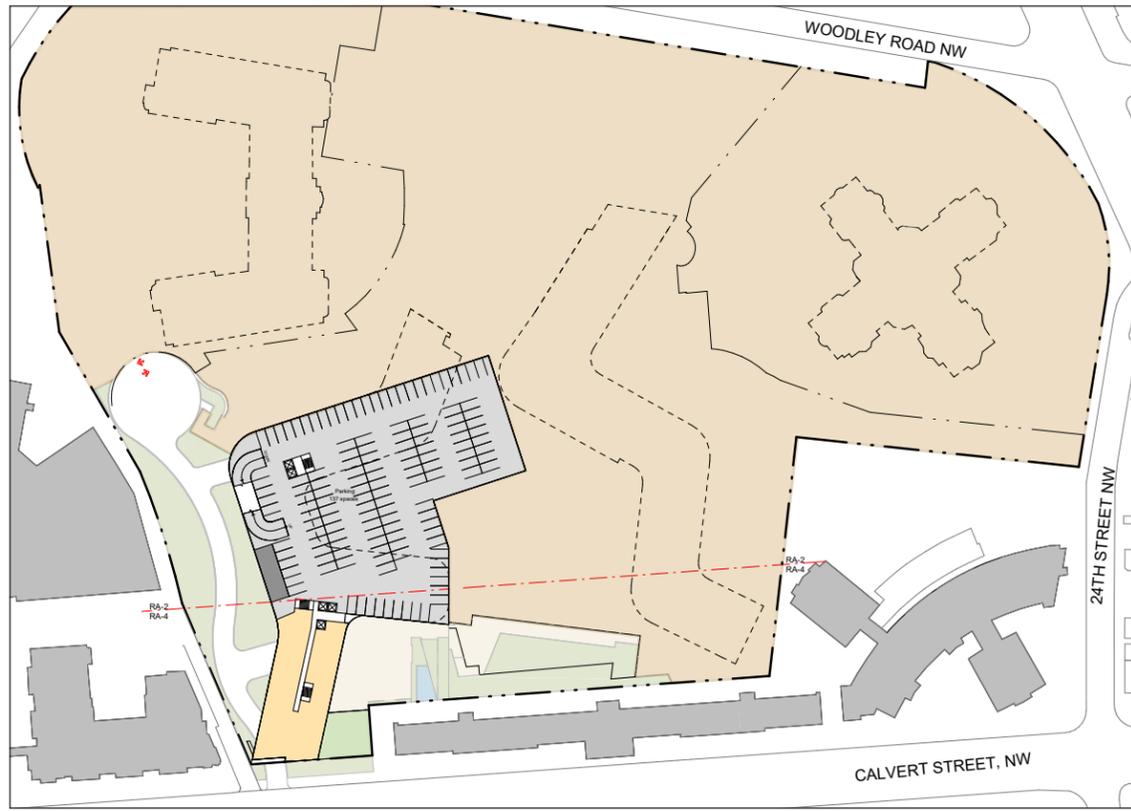
architects



ELEV: 125' - 6" CALVERT LEVEL 1



ELEV: 135' - 5" CALVERT LEVEL 2



ELEV: 145' - 0" CALVERT LEVEL 3



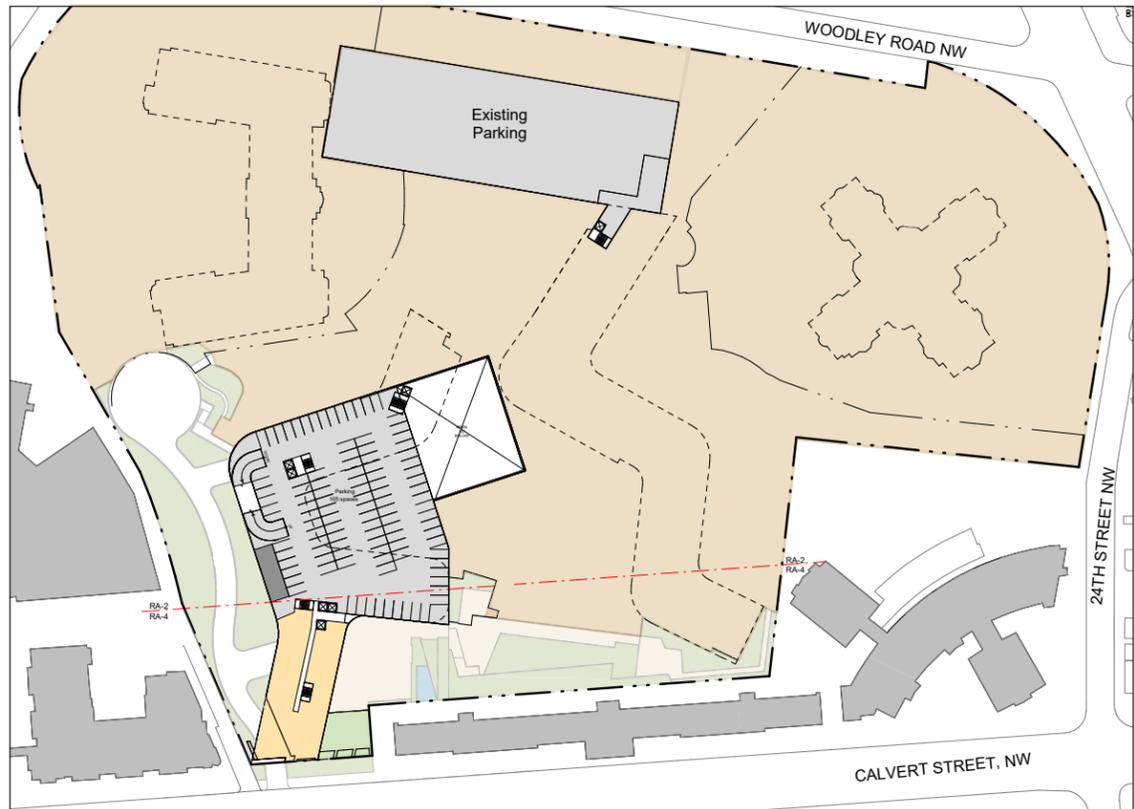
ELEV: 154' - 7" CALVERT LEVEL 4

**KEY**

[Yellow Box]	RESIDENTIAL UNITS
[Red Box]	LOBBY / AMENITY AREA
[Green Box]	LANDSCAPE / TERRACE
[Grey Box]	PARKING
[Dark Grey Box]	BUILDING SERVICES
[Tan Box]	UNEXCAVATED

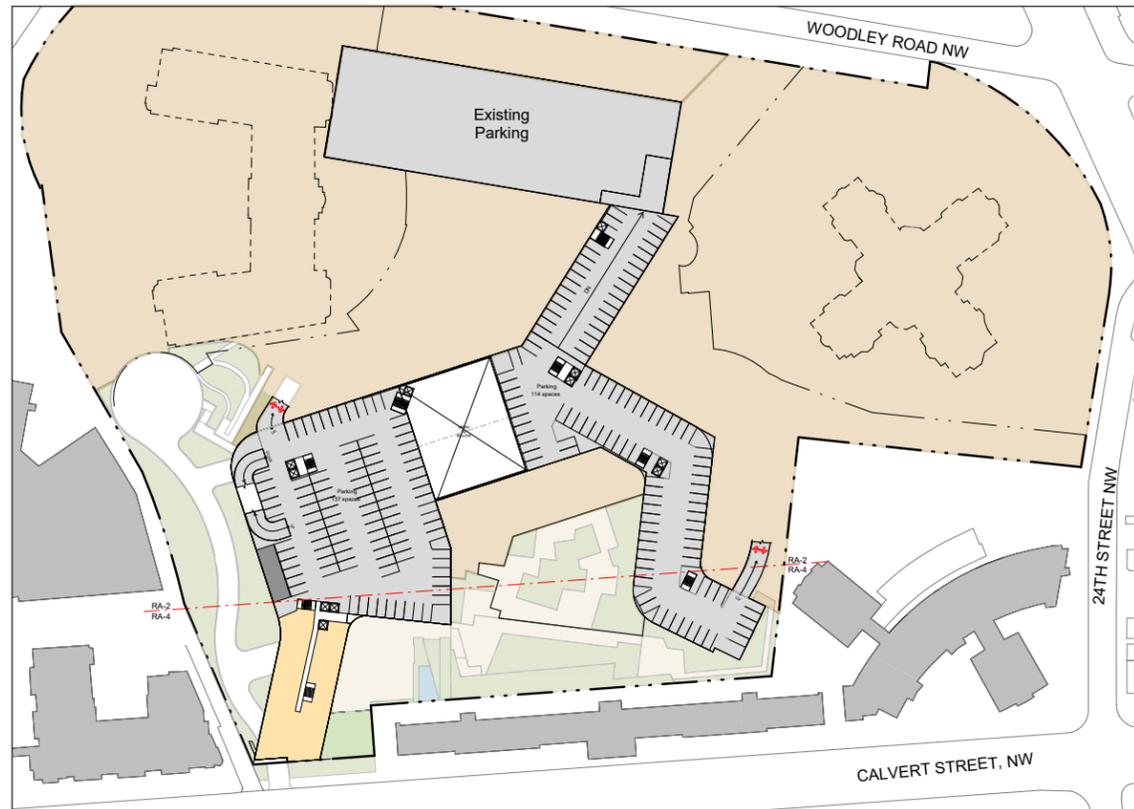
**NOTE:**  
 The locations of residential areas, parking, amenities, services, corridors, stairways and elevator cores are preliminary and shown for illustrative purposes only. Final layouts may vary.





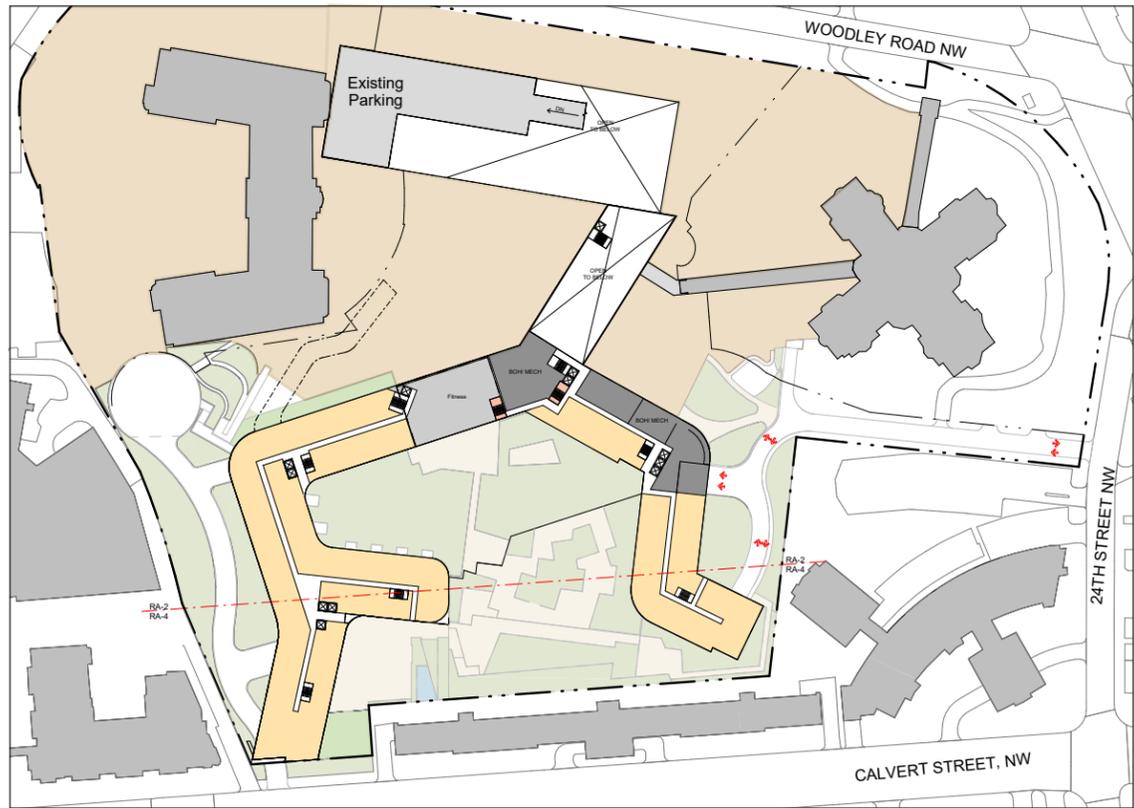
ELEV: 164' - 2"

CALVERT LEVEL 5



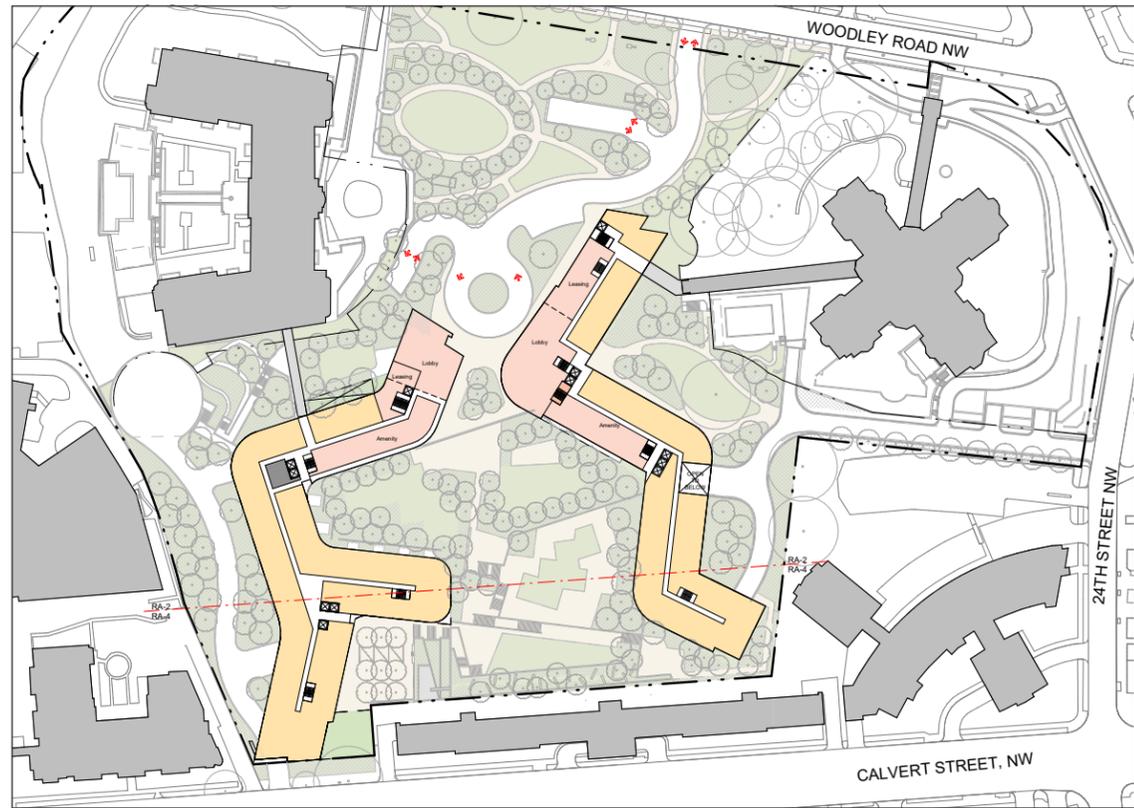
ELEV: 173' - 9"

CALVERT LEVEL 6



ELEV: 184' - 10"

COURTYARD LEVEL



ELEV: 196' - 0"

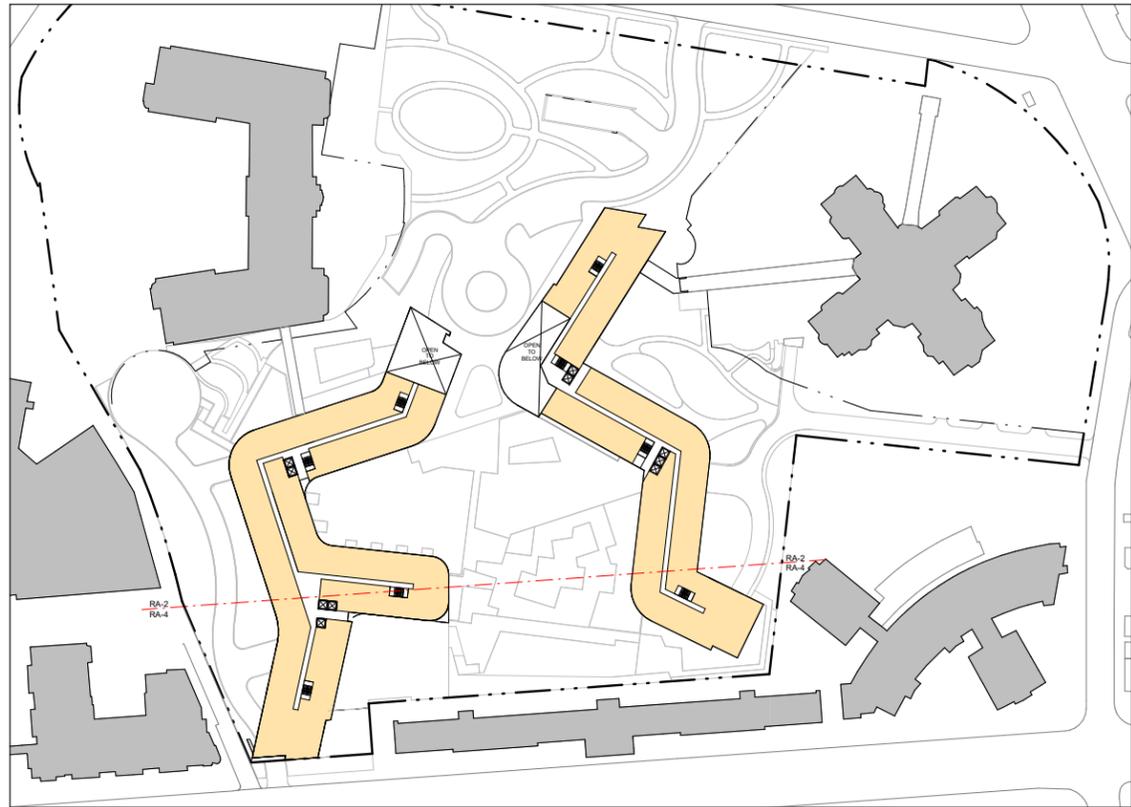
WOODLEY LEVEL 1

**KEY**

<span style="color: yellow;">■</span>	RESIDENTIAL UNITS
<span style="color: lightgrey;">■</span>	LOBBY / AMENITY AREA
<span style="color: lightgreen;">■</span>	LANDSCAPE / TERRACE
<span style="color: grey;">■</span>	PARKING
<span style="color: darkgrey;">■</span>	BUILDING SERVICES
<span style="color: tan;">■</span>	UNEXCAVATED

**NOTE:**  
The locations of residential areas, parking, amenities, services, corridors, stairways and elevator cores are preliminary and shown for illustrative purposes only. Final layouts may vary.





ELEV: 207' - 4"

WOODLEY LEVEL 2

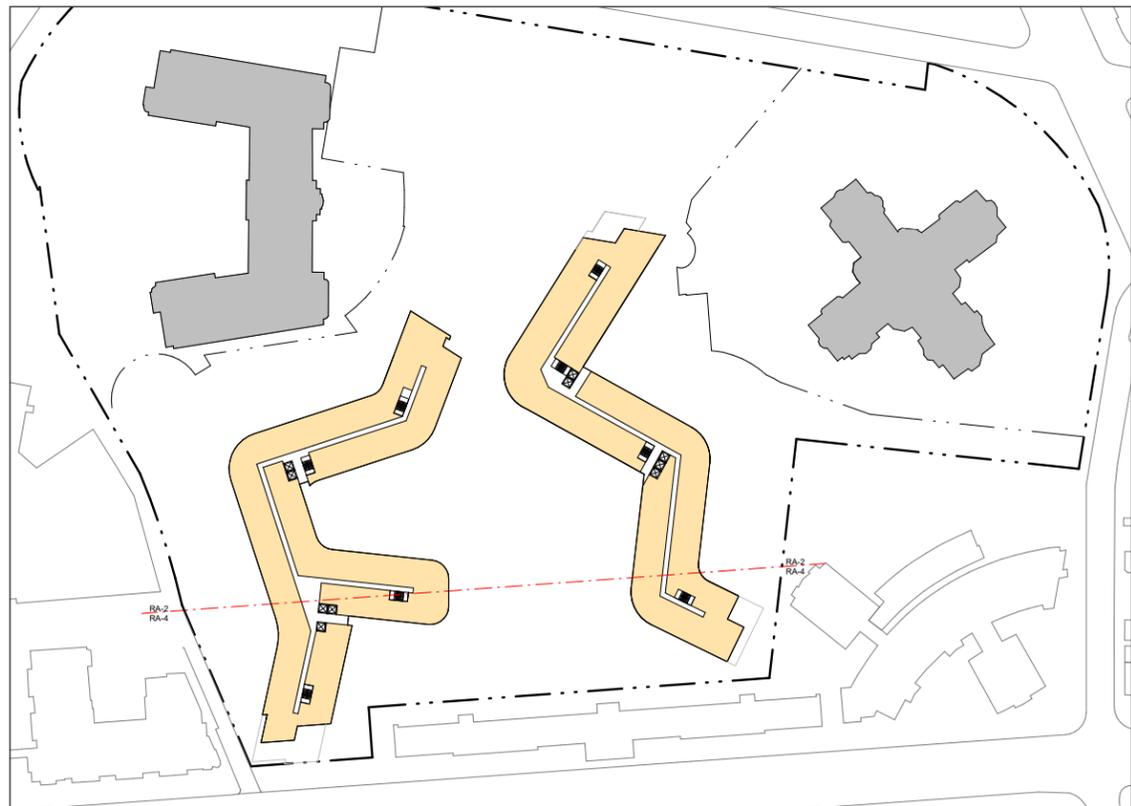


ELEV: VARIES

LEVELS 3-8

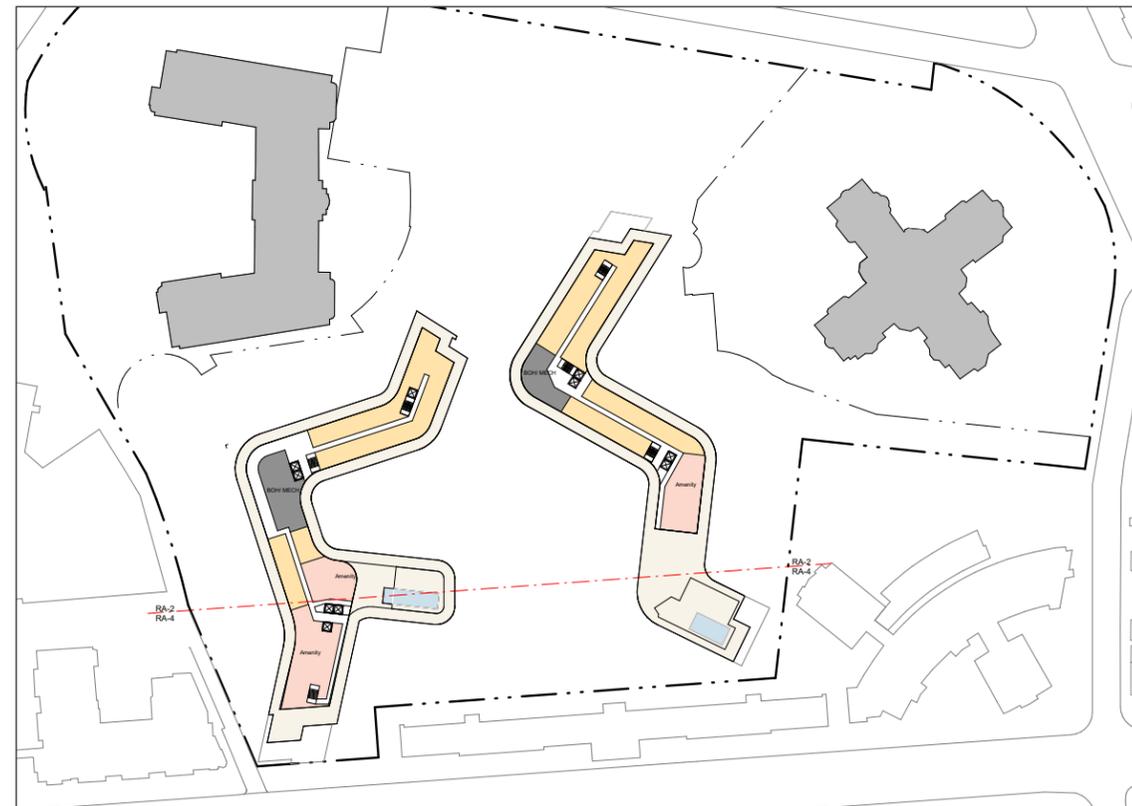
**KEY**

<span style="display:inline-block; width:15px; height:10px; background-color:yellow; border:1px solid black;"></span>	RESIDENTIAL UNITS
<span style="display:inline-block; width:15px; height:10px; background-color:lightcoral; border:1px solid black;"></span>	LOBBY / AMENITY AREA
<span style="display:inline-block; width:15px; height:10px; background-color:lightgreen; border:1px solid black;"></span>	LANDSCAPE / TERRACE
<span style="display:inline-block; width:15px; height:10px; background-color:lightgrey; border:1px solid black;"></span>	PARKING
<span style="display:inline-block; width:15px; height:10px; background-color:grey; border:1px solid black;"></span>	BUILDING SERVICES
<span style="display:inline-block; width:15px; height:10px; background-color:tan; border:1px solid black;"></span>	UNEXCAVATED



ELEV: 274' - 5"

WOODLEY LEVEL 9



ELEV: 286' - 0"

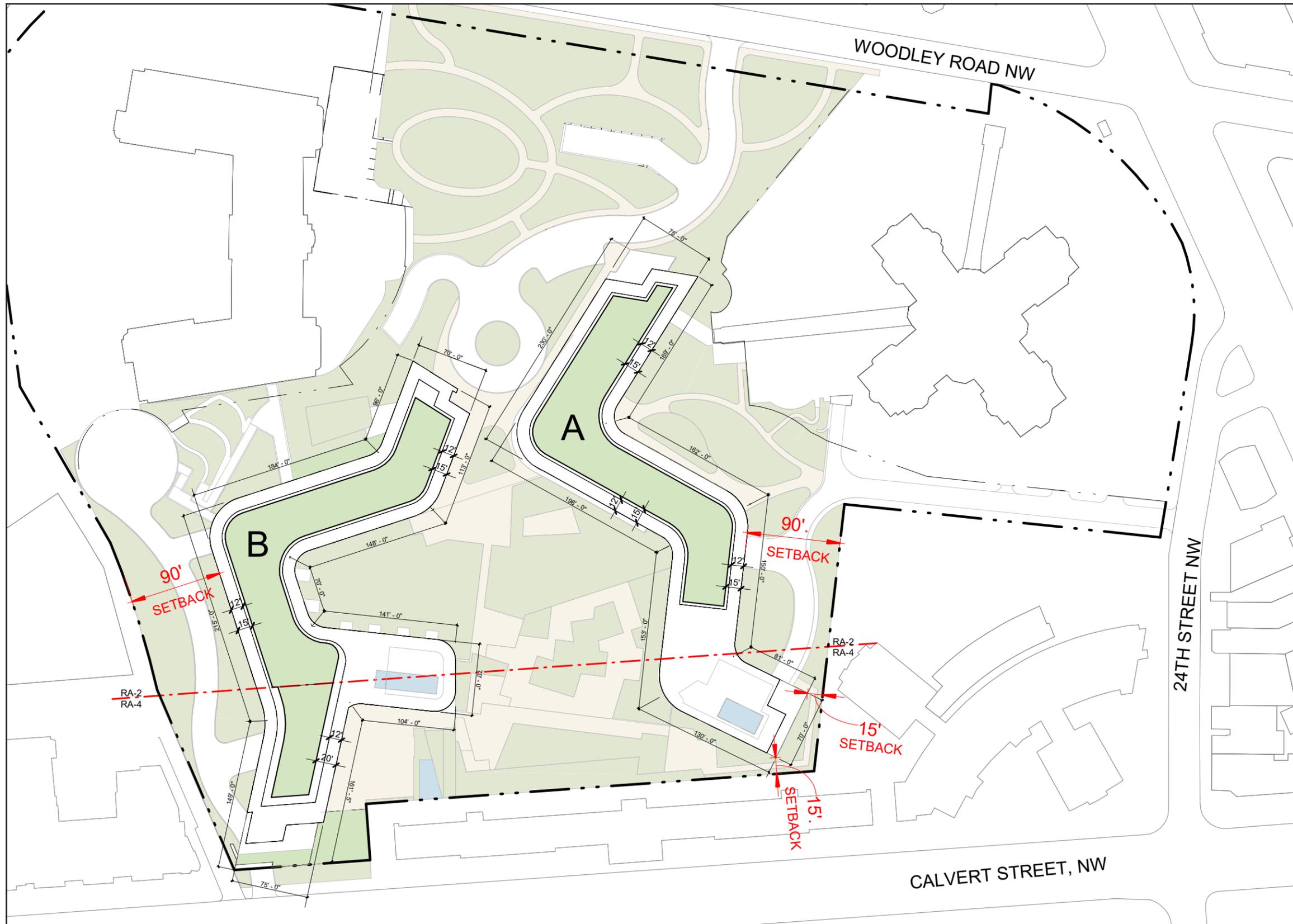
PENTHOUSE LEVEL

**NOTE:**  
 The locations of residential areas, parking, amenities, services, corridors, stairways and elevator cores are preliminary and shown for illustrative purposes only. Final layouts may vary.



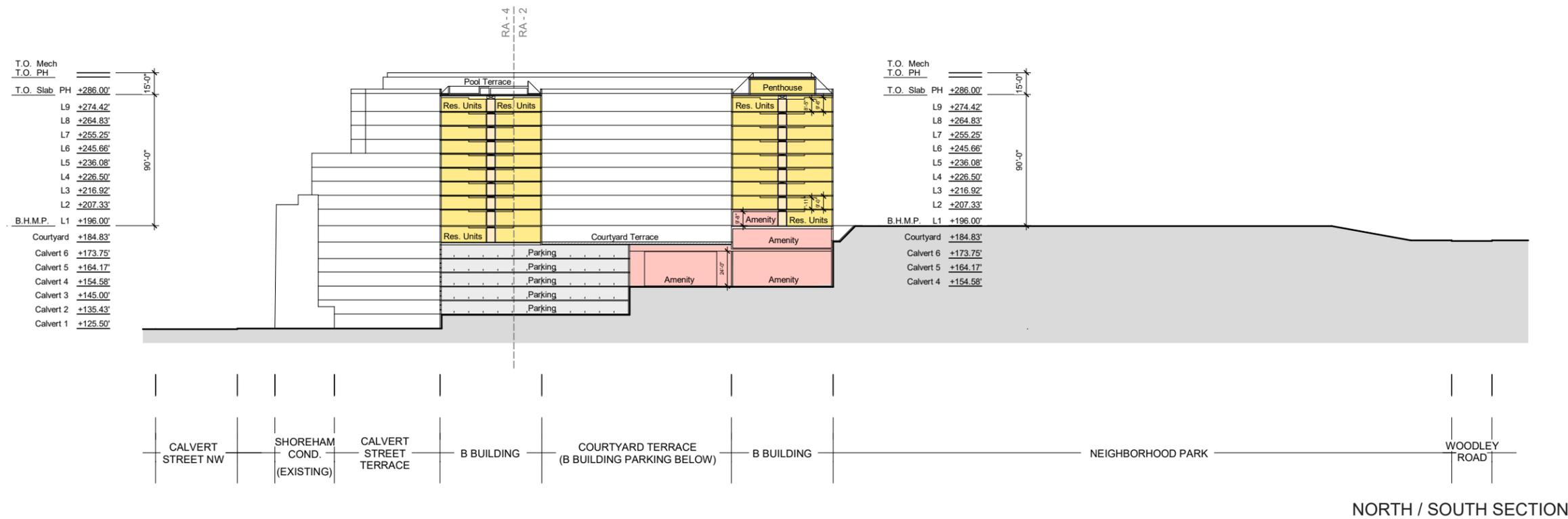
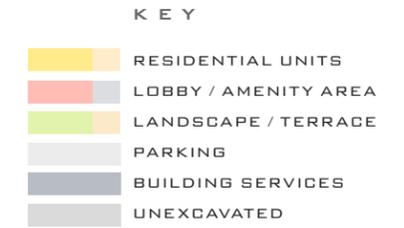
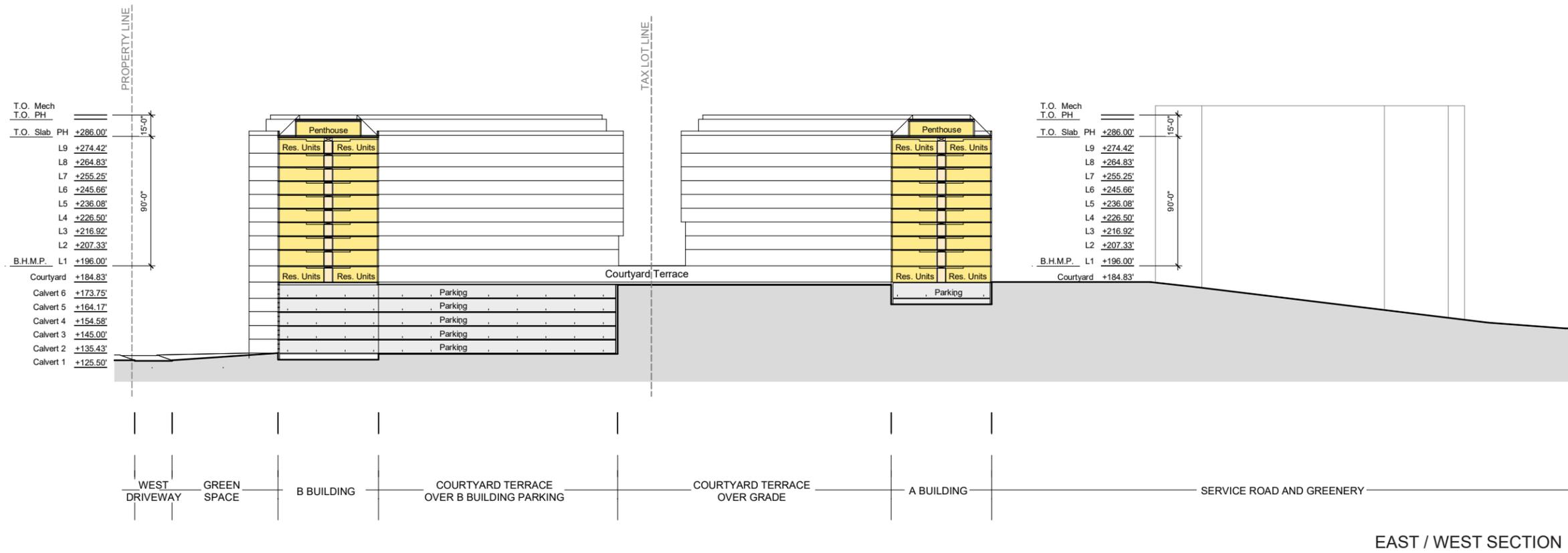
**WARDMAN PARK**

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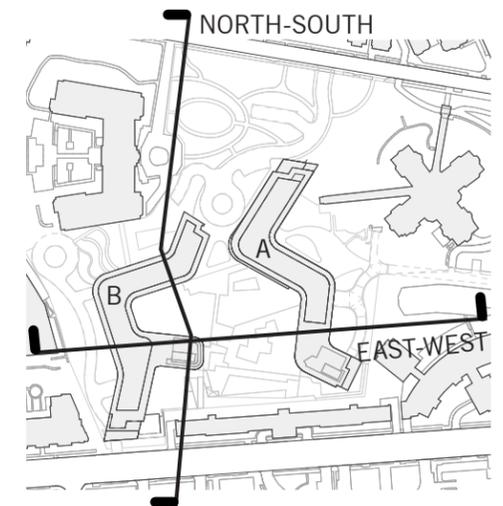


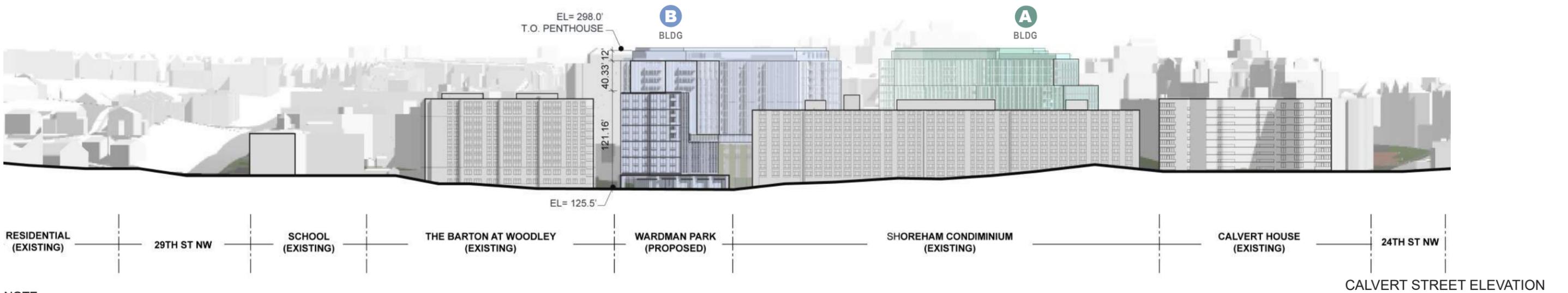
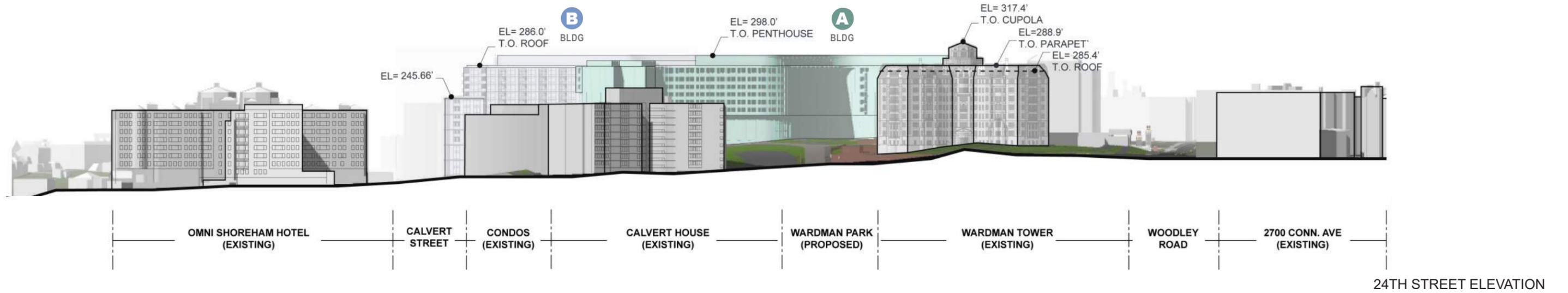
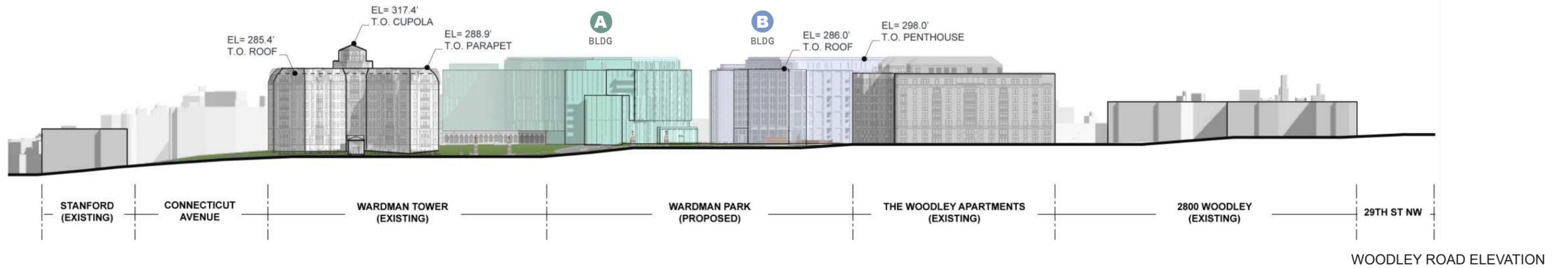
ROOF PLAN





**NOTES:**  
 The locations of residential areas, parking, amenities, services, corridors, stairways and elevator cores are preliminary and shown for illustrative purposes only. Final layouts may vary.





NOTE:  
 The Exterior Elevations, including door and window sizes and location, are preliminary and shown for illustrative purposes only. Final layouts may vary.  
 The colors shown on the Exterior Elevations are diagrammatic and are shown for illustrative purposes only.



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## APPENDIX

# CONCEPT DESIGN - LANDSCAPE NARRATIVE

The project site is prominently located on a bluff between Woodley Road, NW and Calvert Street, NW in the Woodley Park neighborhood of Washington, DC. To the east is the historic Wardman Tower and to the west is The Woodley, a relatively recent addition to the neighborhood. Rock Creek Park, the National Zoo, and a Metro Station are in close proximity to the site. The property is situated on the fall line between the Atlantic Coastal Plane and the Piedmont Plateau. This geological formation is characterized by bluffs punctuated by stream valleys, steep slopes with rock outcroppings, and great views.

At one time, the site was located outside of the city and considered countryside. It served as a natural retreat to the higher elevations out of the heat and humidity of the lowlands and swamps of the city below. It was the perfect spot for the Wardman Park Hotel which previously occupied this address. The hotel became a destination for the city's wealthy, influential, and connected socialites. We envision the site history and the natural land forms serving as inspiration for what this property could become again.

Through time, this primarily residential neighborhood has evolved and grown to become part of the greater urban fabric. Development on the site, such as the existing Marriott Hotel, The Woodley, and the existing below grade parking structure in the Woodley Road open space has seemed random and resulted in a fractured identity of inconsistent character. Still, some important features exist on the site providing cues for a site design framework. Features such as the historic Wardman Park Hotel entrance monuments, the ellipse in the open space, and the natural site characteristics will all influence the design.

Our approach to the landscape and site design for the public faces of the project is inspired by Frederick Law Olmsted. Olmsted, the Father of Landscape Architecture, and his firm was very active in the District of Columbia in late 1800's and early 1900's. Their projects in the city included the United States Capitol Grounds, The American University Main Campus, Gallaudet University and St. Albans School. Mr. Olmsted also designed projects in the Woodley Park neighborhood such as the National Zoological Park and several private residences.

Olmsted's works were pastoral in nature. They were characterized by tree groves, undulating topography, curvilinear paths, and rock outcroppings, all features consistent with what made this site attractive to the creators of the original hotel and retreat. This design language allows for the ability to seamlessly knit the new and the old together and to strengthen the compatibility of the structures and features on this block.

A key component of the project is the generous private open space or greensward located along Woodley Road, NW. We have developed a clear arrival sequence where a visitor to the site is presented with a view of the new residential buildings, approaches the site on a curvilinear entrance drive, and finally arrives at the building entrances in a vehicular entrance courtyard. The entrance road will enter the site midway between the existing pairs of historic piers and pedestrian entrance walks will be relocated to thread between each set of piers. Together, these will create a meaningful entrance to the project.

The existing underground parking structure will be accessed from the entrance drive and will be screened by rolling earth mounds and random groves of trees. The existing ellipse will be maintained, repaired, and enhanced with minor modifications to further integrate this space within the overall landscape theme. Alternating tree groves and open spaces throughout the greensward will provide for a variety of experience.

A generous private courtyard will be nestled within the embrace of the two proposed residential towers. This private sanctuary or jewel box offers the opportunity to be completely different than external setting of project. This space will serve as a key amenity to the residents of the two buildings. In addition to this courtyard, amenity spaces will be located on both roof terraces to take advantage of the extensive views. Green roofs and other performance landscape features will be incorporated to meet the environmental goals and requirements of the project.



1. PROPOSED GREENSWARD AERIAL



2. PROPOSED GREENSWARD VIEW

1. VIEW



SOURCE: WARDMAN PARK HOTEL. CHERRY BLOSSOMS FROM THE ROOF OF THE WARDMAN PARK HOTEL SHOWING THE FRONT DRIVEWAY. CA.1920- CA.1950. THEODOR HORYDCZAK. LIBRARY OF CONGRESS.

2. VIEW



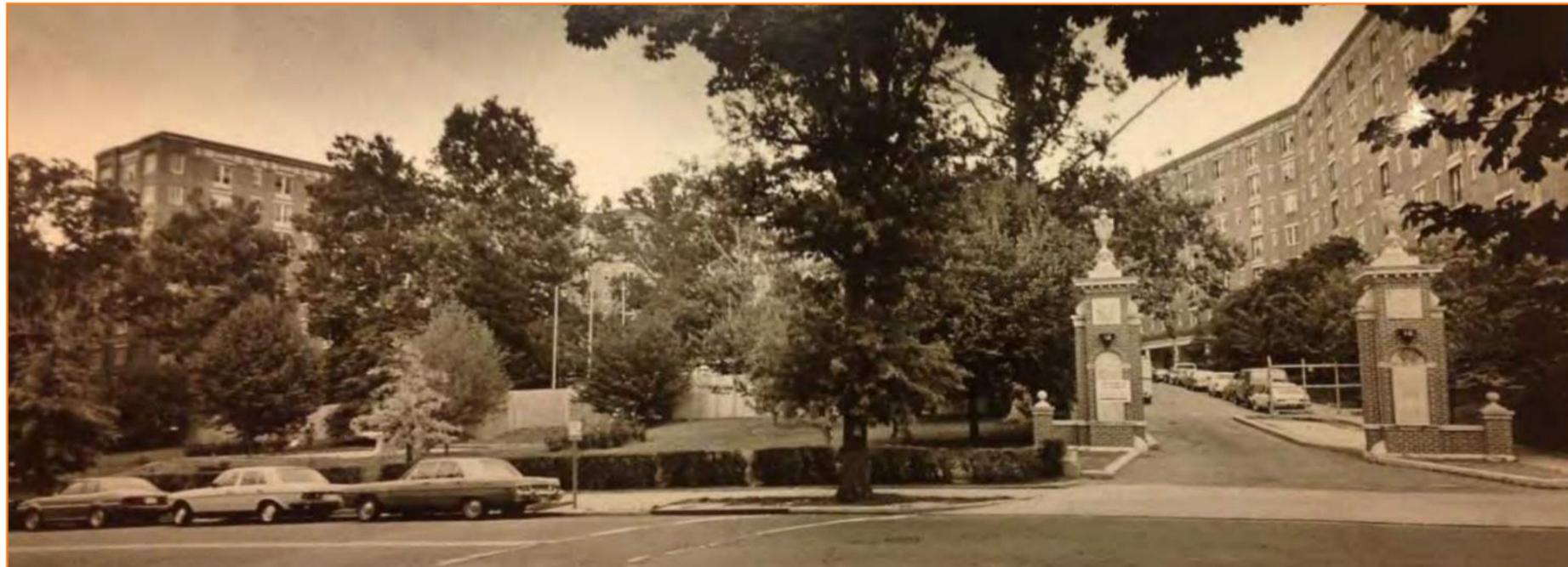
SOURCE: AERIAL VIEW (A) SHOWING ENTRANCE GATES, SHERATON (WARDMAN) PARK COMPLEX, EVENING STAR-DAILY NEWS, SEPT. 1968. SPECIAL COLLECTIONS (WASHINGTONIANA), DC PUBLIC LIBRARY.

3. VIEW



SOURCE: AERIAL VIEW (B) SHOWING ENTRANCE GATES, SHERATON (WARDMAN) PARK COMPLEX, EVENING STAR-DAILY NEWS, SEPT.1968. SPECIAL COLLECTIONS (WASHINGTONIANA), DC PUBLIC LIBRARY.

4. VIEW



SOURCE: SHERATON (WARDMAN) PARK ENTRANCE SHOWING WESTERN-MOST SITED PAIR OF GATES, 1979. SPECIAL COLLECTIONS (WASHINGTONIANA), DC PUBLIC LIBRARY.

5. VIEW



SOURCE: AERIAL VIEW OF THE WARDMAN PARK INN, WASHINGTON, D.C. UNITED STATES ARMY. AIR CORPS. AERIAL PHOTO SECTION NO. 3 PHOTOGRAPHER. APRIL 2, 1922.

# WARDMAN PARK

WASHINGTON, DC

January 21, 2022

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HISTORIC IMAGES | A-39

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6. VIEW



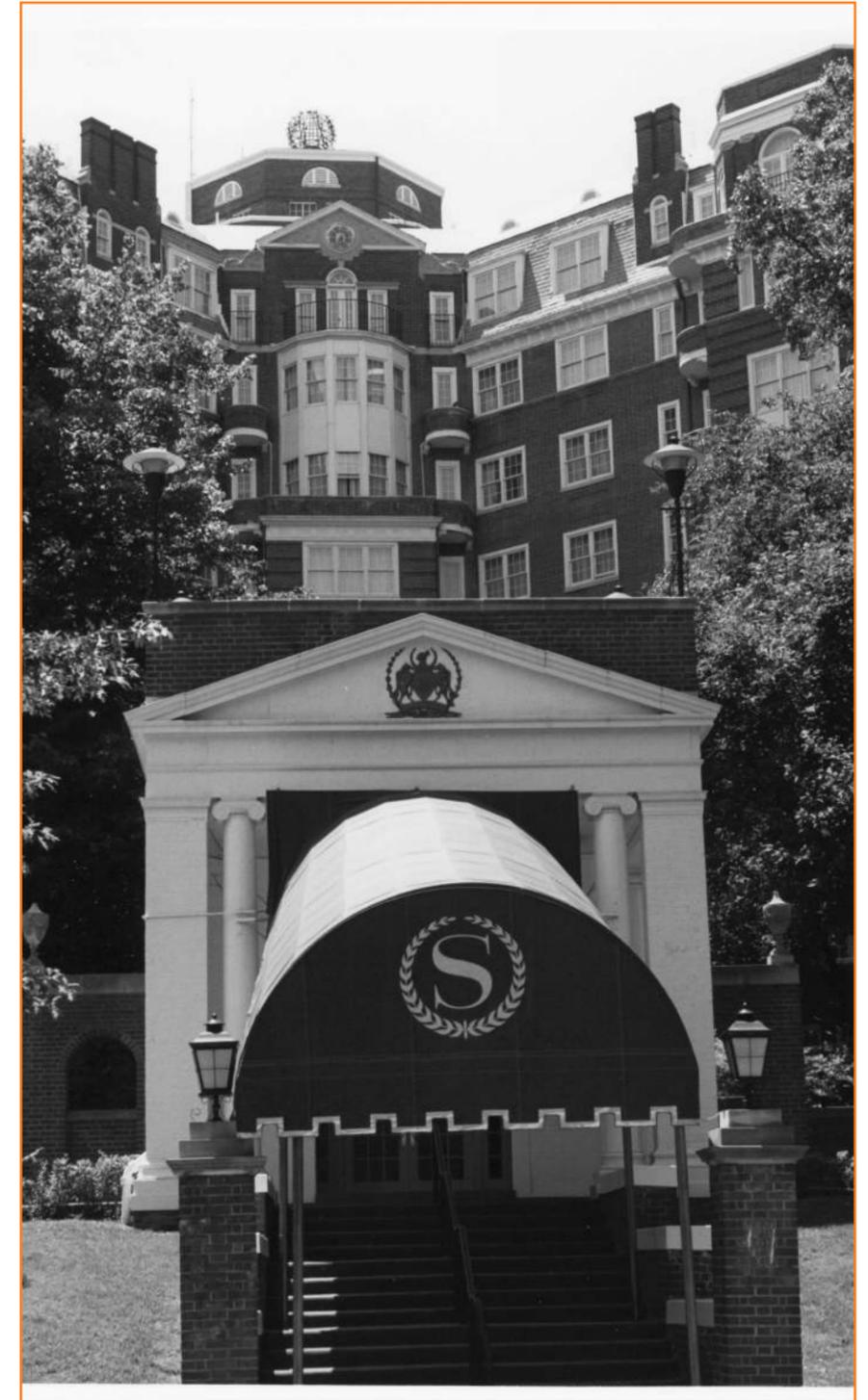
HISTORIC PHOTO OF WARDMAN TOWER, 1949.

7. VIEW



HISTORIC PHOTO OF WARDMAN TOWER ENTRY, 1951.

9. VIEW



SOURCE: ENTRANCE PORTICO AND UPPER FLOORS OF TOWER, LOOKING SOUTHWEST. ANNE H. ADAMS. JUNE, 1983. HISTORIC PRESERVATION DIVISION - DCRA.

8. VIEW



SOURCE: WARDMAN PARK INN. FRED SCHUTZ. 1910. CAPITOL PHOTO SERVICE IMAGE COLLECTION.